



**ENVIRONMENT AND SOCIAL IMPACT ASSESSMENT
COMPREHENSIVE PROJECT REPORT**

**FOR CONSTRUCTION OF THE PROPOSED FRESH PRODUCE
MARKET AT KOJONGA CENTRE,
IN
KOJONGA SUB-LOCATION, NTULELE LOCATION, MOSIRO WARD
NAROK EAST SUB COUNTY, NAROK COUNTY**



Coordinates: *Latitude -0.96804404, Longitude 36.1291915*

Elevation: *2681.39meters*

PROPONENT:

Chief Officer, Department of Trade Industrialization and Cooperative
Development, Narok County

P.O. Box, 898-20500

Narok

July 2025


FACT SHEET

Name of Proponent	Narok County Government
Postal Address	P.O. Box 898, 20500 Narok
Contact Person	Francis Kudate Phone: 0701190192
Proposed Project	Construction fresh produce market
Location	Kojonga Sub-location, Ntulele location, Mosiro Ward, Narok East Sub-county, Narok County.
Project Components	Construction of fresh produce market with retail spaces, meeting room, ICT room, offices, crèche & children playing rooms, road & pavement grading, sanitary facilities including toilets and bathrooms, waste management structures, perimeter chain link fence, steel gates, water harvesting and electricity connection.
Project Cost	KES. 98,867,704.46
Coordinates	Latitude -0.96804404, Longitude 36.1291915
Elevation	2681.39meters
Date	June, 2025
ESIA - CPR Reviewer	NAVCDP - David Olang 0729750700

CERTIFICATION

This Environment and Social Comprehensive Project Report for Construction of Fresh Produce Market has been prepared and is submitted to National Environment Management Authority (NEMA), in conformity with the requirement of Environmental Management and Coordination Act, 1999 (Amendment 2015) and Environmental Impact Assessment and Audit (EIA/EA) Regulations, 2003 (Amendment 2019). We, the undersigned certify that to the best of our knowledge and belief this report is correct and true reflection of the findings on anticipated environmental and social impacts of the proposed project.

LEAD EXPERT

NAME: Jamin Rutto
REG. NO: 11967
MOBILE NO: +254-725245481
EMAIL: jaminrutto@yahoo.com
SIGN: 
DATE: 16/06/2025.

PROPONENT:

Chief Officer, Department of Trade, Industrialization & Cooperative Development
Narok County Government,
P.O. Box 898, 20500
Narok

NAME: Francis Kudate

PHONE: 0701190192

Email Address: ~~trade@narok.go.ke~~

SIGN: 

DATE: 16/06/2025.



EXECUTIVE SUMMARY

The National Agricultural Value Chain Development Project (NAVCDP) is a 5-year project under the Ministry of Agriculture, Livestock, Fisheries and Cooperatives designed to contribute to the transformation of the smallholder farming systems by facilitating transition from subsistence to commercial farming through increased value addition and market participation. The Project Development Objective (PDO) is to increase market participation and value addition for targeted farmers in select value chains in project areas.

The project is implemented in 33 counties in Kenya. In Narok County, the project builds on the foundation laid by National Agricultural and Rural Inclusive Growth Project (NARIGP). It has five components (i) Building Producer capacity for climate resilient stronger value chains (ii) Climate Smart Value Chain Ecosystem Investments (iii) Piloting Climate Smart Safer Urban Food Systems (iv) Project Coordination and Management and (v) Contingent Emergency Response Component. The project is being undertaken in all the 30 wards of Narok County.

NAVCDP in an effort to achieve its objective of improving market participation for small holder farmers intends to support construction of a fresh produce market in Kojonga Centre, Mosiro Ward, Narok East Sub County, Narok County. Once complete, the project is expected to directly benefit community members consisting of 120 traders, 110 retail shopkeepers and 3 wholesalers within the Kojonga Centre. It will also serve about 3,000 households in Kojonga area whose incomes will be increased through enhanced sale of produce in the proposed market.

The proposed project was subjected to environment and social risks screening through the use of a prepared checklist administered by NAVCDP officers in collaboration with Environmental and Social Impact Assessment Experts and County Social Development officers. The project therefore requires an Environmental and Social Impact Assessment (ESIA) in line with section 58 of the Environmental Management and Coordination Act (EMCA) No.8 of 1999, Environmental (Impact Assessment and Audit) Regulations (2003) and World Bank Environmental and Social Framework which categorizes the proposed project as medium and moderate risk respectively thus requires development of a comprehensive project report.

In this regard, NAVCDP commissioned an ESIA for the construction of Kojonga fresh produce market which is envisaged to have structures including; retail spaces, meeting room, ICT room, offices, crèche & children playing rooms, sanitary facilities including toilets and bathrooms, perimeter chain link fence, steel gates, waste disposal infrastructure, and water harvesting structures. The

project will also be connected with electricity from the available grid by KPLC within the centre. The estimated project cost is KES. 98,867,704.46.

The main objective of the ESIA was to identify the possible positive and negative environmental impacts that may result during the project's construction, operation and decommissioning phases and propose appropriate mitigation measures. The methodology used to undertake the study involved both desk study (scoping) and fieldwork. During the scoping stage, the potential impacts relevant to projects of this nature were identified and categorized. During the actual fieldwork the study team carried out field observations, informal and formal interviews, and discussions/meetings with the neighbors and relevant authorities. This provided opportunities to stimulate the concerns of various stakeholders, as well as, solicit their opinion on the mitigation measures. The views and recommendations expressed during the consultation meetings were incorporated in the ESIA report. Generally, the result of the participation showed support for the proposed project, with the community looking forward to the anticipated socio-economic developments associated with the project. The report also analyzed project alternatives including project site, materials, design, technologies and waste management options based on cost and benefit criteria; environmental impacts, social acceptability, and capital benefits.

The study identified anticipated positive and negative impacts that might be posed by the project and has outlined proposed mitigation measures for the negative impacts which are provided in the Environmental and Social Management and Monitoring Plan (ESMMP) in Chapter 8 of this report. Potential positive environmental & social impacts of the project include; employment creation both temporary, casual and permanent, secure and reliable modern fresh produce market, improved aesthetics, improved living standards, improved land value, improved infrastructure in the project area, promotion of social interactions, improved fresh produce production & marketing, reduced exploitation of farmers, increased bargaining power and improved revenue collection to the county & national governments.

On the other hand, the potential negative environmental & social impacts include; accumulation of solid wastes, soil erosion around and in the market due to storm water, possibility of conflicts related to resource use, competition for labour, theft cases, work related accidents, air pollution from fuel and dust emissions, soil & water pollution, noise/vibration, social evils, vandalism, possibility of spread of respiratory diseases & sexually transmitted infections.

Some of the measures proposed to address the potential negative impacts above include; the contractor and the proponent to ensure safe working practices to protect the workers during

construction, installation of dust/litter bins and septic tanks or soak pits to properly dispose solid & liquid wastes, put in place soil & water conservation structures within the project site, establish an effective Grievance Redress Mechanism (GRM) to address conflicts, provision of Personal Protective Equipment (PPEs); undertaking sensitization and awareness creation on the negative effects caused by social evils such as substance abuse and risk of contracting HIV and AIDS;, and enhancing collaboration with security agencies in the County to minimize cases of insecurity. The cost for the implementation of Environmental and Social Management and Monitoring Plan (ESMMP) is Kenya Shillings 1,675,000.

This report concludes that the proposed construction of Kojonga fresh produce market will have insignificant adverse environmental & social impacts since the negative impacts identified and analyzed can be adequately mitigated against through effective implementation of ESMMP at Ksh 1,675,000 provided in the report. Therefore, it is important that the mitigation and monitoring measures recommended in this report are incorporated in the implementation and operation design process. The construction contractor and the supervising officer should ensure that the mitigation measures proposed for the construction phase are adhered to while the proponent is responsible for subsequent monitoring as proposed in the ESMMP. Accordingly, as per Section 58 of EMCA and Part II, 10(2) and legal notice 30/31 of Environmental (Impact Assessment and Audit) Regulations, 2003, we recommend that the proponent be issued with an Environmental Impact Assessment License/approval for Kojonga market development.

ACRONYMS AND ABBREVIATIONS

°C	Degrees Celsius
AFA	Agriculture and Food Authority
AIDS	Acquired Immune Deficiency Syndrome
ART	Anti-Retroviral Therapy
ASTGS	Agriculture Sector Transformation and Growth Strategy
CBD	Convention on Biological Diversity
CBOs	Community-Based Organizations
CCTV	Closed Circuit Television
CESCO	County Environmental Safeguards Compliance Officer
C-ESMP	Contractor-Environmental and Social Management Plan
CGMC	County Grievances Management Committee
CIO	County Infrastructure Officer
CO ₂	Carbon Dioxide
CPCU	County Project Coordinating Unit
CPR	Comprehensive Project Report
CSGMO	County Social & Gender Mainstreaming Officer
DCC	Deputy County Commissioner
DOSHA	Department of Occupational Safety and Health
EA	Environmental Audit
EIA	Environmental Impact Assessment
EIA/EA	Environmental Impact Assessment and Audit
EMCA	Environmental Management and Coordination Act
ESF	Environmental and Social Framework
ESIA	Environmental and Social Impact Assessment
ESMP	Environmental and Social Management Plan
ESS	Environment and Social Standards
FNSP	Food and Nutrition Security Policy
FPO	Farmer Producer Organization
GBV	Gender Based Violence
GHG	Green House Gas
GPS	Global Positioning System
GRM	Grievance Redress Mechanism
HIV	Human Immuno-Deficiency Virus
IDA	International Development Association
IPF	Investment Project Financing
KCB	Kenya Commercial Bank

KERRA	Kenya Rural Roads Authority
KES	Kenya Shilling
Km	Kilometre
KNBS	Kenya National Bureau of Statistics
KPLC	Kenya Power and Lighting Company
LPG	Liquefied Petroleum Gas
MOH	Ministry of Health
MT	Metric Tonnne
NARIGP	National Agricultural and Rural Inclusive Growth Project
NAVCDP	National Agricultural Value Chain Development Project
NEC	National Environmental Commission
NEMA	National Environment Management Authority
NET	National Environmental Tribunal
NGOs	Non-Governmental Organizations
NOx	Nitrogen Oxides
OSH	Occupational Safety and Health
PDO	Project Development Objective
PES	Payment for Environmental Services
PICD	Participatory Integrated Community Development
PLWD	People Living with Disability
PM	Particulate Matter
PPE	Personal Protective Equipment
REG	Registration
SAIC	Social Accountability and Integrity Committee
SEA	Sexual Exploitation and Abuse
SEA	Strategic Environmental Assessment
SH	Sexual Harassment
Sq. Km	Square Kilometre
VAT	Value Added Tax
WAO	Ward Agriculture Officer
WIBA	Work Injury Benefits Act (WIBA)

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CHAPTER ONE: INTRODUCTION

1.1. Introduction

In Narok County, potato production is largely practiced in Narok East, Narok North and parts of Narok South Sub-counties owing to favorable climatic conditions suitable for growing of the crop. The role of potato growing and sale for the communities in the county can therefore not be understated.

The farmers growing potatoes especially in the highland areas of Narok East and Narok North have been undergoing challenges of produce post-harvest losses due to lack of appropriate market infrastructure which hinder them from selling their produce on time to avoid risks of perishability. Lack of aggregation and collective marketing also exposes the farmers to exploitation by middlemen as they remain price-takers. NAVCDP under component 2.2 intends to promote climate smart investments geared towards improving market access for prioritized value chains, potatoes being one of them.

The establishment of a fresh produce market is thus proposed to be undertaken in Kojonga centre, Kojonga Sub-location, Ntulele location, Mosiro Ward, Narok East Sub- County, Narok County. The project is envisaged to facilitate aggregation, grading, storage and sale of fresh produce by farmers in the area thus streamline the sales process by ensuring that farmers' produce is collectively and structurally marketed. Farmers in the area also produce other types of crops including cabbages, carrots, green Peas, green maize, kales & spinach. The proposed market therefore, will create space for the farmers to greatly benefit from sale of fresh produce at competitive prices thus increase their profits through enhanced market participation.

1.2. Project Proponent

The proponent of Kojonga fresh produce market intended to be constructed is the Department of Trade, Industrialization & Cooperative Development, Narok County. The proponent through support from NAVCDP seeks to invest in the construction of the fresh produce market in a 1-acre public land Reg. No. Cismara/Kojonga/607 designated for establishment of the market. The site is within Kojonga Centre, Mosiro Ward, Narok East Sub-County, Narok County. The site is on GPS Coordinates Latitude -0.96804404, Longitude 36.1291915. Kojonga centre is located 17kms from Ntutele town accessed via a murrum road connecting with the Narok-Mai Mahiu tarmac road. The site can also be accessed through a murrum road from Nairege Enkare town a distance of about 19kms.

I.3. Project Objectives

The overall objective of the proposed project is to enable access to reliable market for farmers' produce through aggregation, grading and storage. The specific objectives include;

- a) To establish a 1631m² physical market space for fresh produce farmers, traders, and consumers by December, 2025
- b) To operationalize a 134 MT capacity fresh produce wholesale/ aggregation unit within the market with a provision for storage and handling facilities by December 2025.
- c) Building the capacity of market management committee for effective and efficient market management by March 2026.
- d) Building the capacity of 1000 farmers on sustainable climate smart agriculture and collective fresh produce marketing by March 2026.

I.4. Justification of the Project

The proposed project will improve the livelihoods of farmers in Narok County by facilitating aggregation and collective marketing of farm produce through improvement in their bargaining power resulting in better prices for the produce. The project will enhance increased access to better market infrastructure to facilitate sustainable production and sale of fresh farm produce mainly potatoes as well as stimulate development of other agriculture-based value chains. Currently, the fresh produce market players and other business people have no properly designated market and conduct their trade along the road reserve therefore lack recommended sanitary facilities. The project will intervene in alleviating social and health risks usually associated with similar investments which lack appropriate infrastructure. For instance, establishment of latrines, reliable water source and solid waste management bins in the market will ensure the market players enjoy a conducive environment to conduct their businesses.

I.5. Justification for the ESIA

This report has been developed in line with EMCA, 1999 Schedule 2 and subsequent amendment Legal Notice 31 and 32 Of 2019 which categorizes the project as medium risk and thus requires development of a Comprehensive Project Report and submission to NEMA for informed decision making and licensing. The project is considered as moderate risk as per World Bank Environment and Social Standards.

I.6. Objective of the ESIA Study

The main objective for this study was to undertake a social, economic and environmental status analysis to identify the positive and negative impacts the project will pose to the environment and

assist develop an Environmental Social Monitoring and Management Plan (ESMMP) which will be instrumental in mitigating identified negative impacts and promote sustainability of project outcomes. The ESMMP will describe in detail the mitigation measures to be carried out, costing, scheduling and responsibility of such measures. The process is in line with EMCA 1999 and subsequent amendment legislation which require that before a project commences, it must be preceded by a Comprehensive Project Report with the objective of offering guidance and leadership in project implementation.

1.7. Scope of work

The scope of the ESIA was determined through environment and social safeguard screening which assessed different anticipated impacts that the project might have on the environment and well-being of the community. Issues considered included the physical location, sensitive issues and nature of anticipated impacts. Preparation of a Comprehensive Project Report (CPR) for the proposed construction of fresh produce market in Kojonga comprised of the following:

- i. To develop a Comprehensive Project Report as per the Legal Notice No 31 & 32 of 2003, the Environmental (Impact Assessment and Audit) Regulations.
 - a. Describe the context, components and activities of the project.
 - b. Assess and report on the location of the project including the physical aspects of the area that may be affected by the project.
 - c. Identify the potential impacts on the community around the proposed site. Assess whether the activities will displace and or cause loss of livelihood to the surrounding community.
 - d. Assess and report the nature, design and budget of the project.
 - e. Assess and report on the economic and socio-cultural impacts of the project to the local community and the nation in general.
 - f. Assess and report the activities that shall be undertaken during the implementation phases.
 - g. Assess and report the materials to be used including waste to be generated especially during operationalization phase and the methods of their disposal.
 - h. Identify and assess the potential adverse impacts that may result from the activities of the project on the biophysical and socio economic environment and develop an environmental management plan for the operationalization and maintenance, including mitigation measures as per NEMA guidelines.
 - i. Describe the impacts quantitatively and qualitatively, where possible in terms of environmental costs and benefits.
 - j. In the impact analysis, distinguish between positive and negative impacts, long and short-term impacts; reversible and irreversible; and identify linkages among the project components and the

issues.

- k. Identify, assess and recommend appropriate and practical mitigation measures to remove or minimize the adverse environmental impacts identified.
 - l. Develop an action plan that ensures the health and safety of the workers and neighboring communities in the entire project cycle.
 - m. Identify, assess and recommend impact monitoring programs and compliance auditing programs.
 - n. Fill in and submit the NEMA Project Report Form.
 - o. Prepare and submit a Comprehensive Project Report to NEMA.
 - p. Provide any other information that NEMA may require.
- ii. Analysis of project alternatives
 - a. Consider and analyze alternatives in case of adverse impacts.
 - b. Compare alternatives in terms of potential environmental impacts, capital and operating costs, suitability under local conditions, institutional, training and monitoring requirements.
 - c. Describe to the extent possible; quantify total/ environmental costs and benefits of each alternative, including no project alternative by incorporating the estimated costs of any associated mitigation measures. Describe the impacts quantitatively and qualitatively, where possible in terms of environmental costs and benefits
 - iii. Assist the proponent to get Study approval.

I.7. Methodology of the Study

I.7.1. Approach of Study

The overall objective of the assessment was to conduct baseline studies and collect the views of local residents on the positive and negative impacts of the project and suggest possible mitigation measures. The key issues addressed during the assessment included changing social networks, economic opportunities, cultural beliefs and practices, emerging scenarios with project and community consultation and participation.

The study team collected baseline information and reports on the proposed project which provided a basis for analysis of different issues including technologies to be involved during implementation, waste management, socio-economic, gender and socio-cultural issues, environmental conservation, bio-diversity, resource use and occupational health and safety.

The team planned and held preparatory meetings with key stakeholders, technical team and designers at various stages of the exercise. The team reviewed existing relevant legislations and regulations in Kenya and the literature related to the proposed project.

The study team then conducted field visits to the proposed site and collected data based on pre-

determined parameters and methodologies used in environmental and social impact assessment. The field surveys included observations, filling of questionnaires, focused group discussions and interviews with key informants.

1.7.2. Desktop Studies

The study team reviewed the relevant available documents on project activities and components to understand the project background and its context and legislations relevant to the proposed project and case studies of similar projects. Some these included the project proposal, concept note, feasibility study on construction of the fresh produce market, Narok County development blue-prints, EMCA and attendant regulations and agriculture departmental reports.

1.7.3. Field Visits

Site visits were undertaken to physically inspect and document existing facilities at the site as well as neighbourhood and natural and socio-economic features. The visits were conducted on 24th October, 2024 and 21st January 2025. Relevant data was collected through observations and consultation with the community members and stakeholders. The study team made observations on the infrastructure surrounding the proposed project site and established the economic and social set up of the local communities whose daily activities will be and/or likely to be affected by the implementation of the proposed project.

During the field study, the consultancy team collected existing information and administered interviews with stakeholders and key informants to capture the potential environmental impacts on day-to-day activities of the community due to the implementation of the proposed project.

1.7.4. Public Participation & Consultation

Public participation is enshrined in the Constitution of Kenya and EMCA, 1999 (revised 2016). The consultative process is a requirement for all community projects and is a useful tool for seeking community views about a proposed project, gathering environmental data, understanding the benefits and likely negative impacts and involving the project beneficiaries and stakeholders in proposing the appropriate mitigation measures.

Public and stakeholder consultation was undertaken during screening held on 24th October, 2024 and 21st January 2025. Consultations with the various offices and questionnaires were administered to the key Informants in the County and Sub-County levels and Focused Group Discussions with community members were undertaken. A total of 66 respondents (35M, 15F, 16Y) were consulted during the visits (*list attached in appendix*). The stakeholders participated in identifying and evaluating the social and environmental issues and potential mitigation measures.

CHAPTER TWO: PROJECT DESCRIPTION

This chapter presents a description of the proposed key project components and proposed activities.

2.1 Project Location and Description

The Proposed Project is located in Kojonga, Mosiro Ward, Narok East Sub-County, Narok County. The site is on a one (1) acre public land Reg. No. Cismara/Kojonga/607 owned by County Government of Narok and officially designated for construction of the market as indicated in land documents appended in this report. The site is in a suitable location accessible to most fresh produce farmers in the Ward and its' close proximity to facilities such as road services, available water sources, electricity, health services among other social infrastructure is suitable for establishment of the proposed market. Currently, the land is bare and does not have any economic activities being carried out on it or in adjacent sites.

The study team assessment of the area revealed that there were no ecosystems of historical/ecological/archeological importance that are threatened by the establishment of the market and the project site blends well with the neighborhood. There are no adverse land-use activities such as waste disposal particularly solid and waste water in close proximity to the proposed project site. In addition, there was no sensitive/endangered flora and fauna at the proposed site and no vegetation will be cleared to pave way for the operationalization of the project. It would also not affect any cultural heritages such as temples, shrines and known graveyards.

The current market activities are undertaken on a road reserve at Kojonga Centre. There is no properly designated market and it is also lacking sanitary facilities. This thus necessitates construction of a modern market with adequate space to host producers of farm produce as well as traders who wish to purchase the produce from the sellers.

2.2 Project Design

The proposed structures for Kojonga fresh produce market will be constructed on a 1-acre piece of public land designated for the project within Kojonga Centre. The base map layout for the proposed structures is as shown in the figure below.

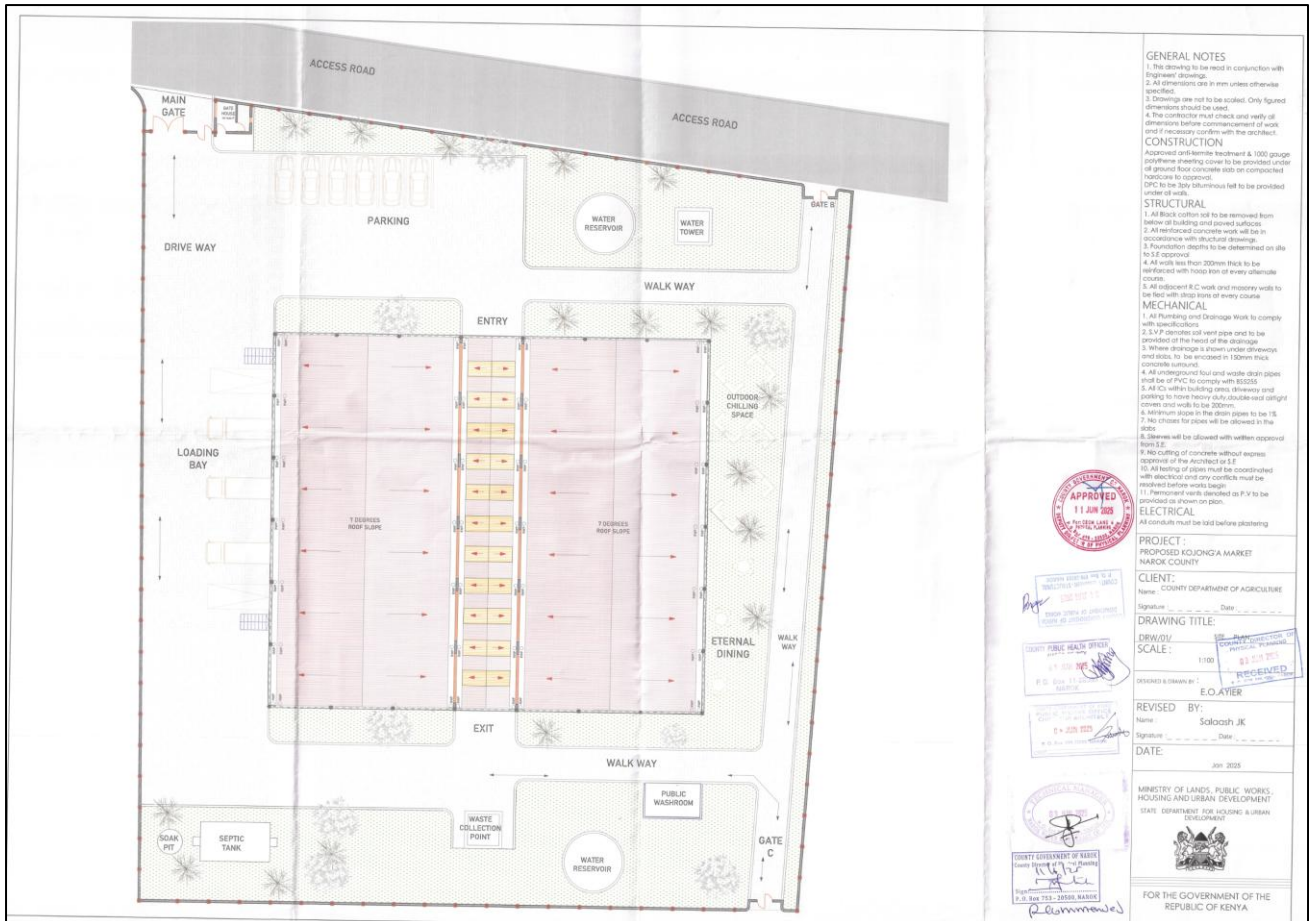


Figure 1: Kojonga Market Site Plan

2.3 Project Components

The proposed Kojonga fresh produce market will have lower ground floor as well as ground floor. The design was developed based on the slope of the site which is slightly slopy thus could accommodate the floors to host different components as detailed below;

a) Internal Works

- i) Retail spaces
- ii) ICT room
- iii) Meeting room
- iv) Offices-2 rooms
- v) Toilets- Gents and Ladies, each with section for PWDs
- vi) Creche
- vii) Children Play room
- viii) Food Court
- ix) Kitchen
- x) Stores

b) External works

- i) Parking lots, walk ways and loading bay

- ii) Gates- (fore) with gate house and two other gates
- iii) Solid waste collection point
- iv) Water Tanks- underground and above ground
- v) Septic tank
- vi) Soak pit
- vii) Perimeter fence

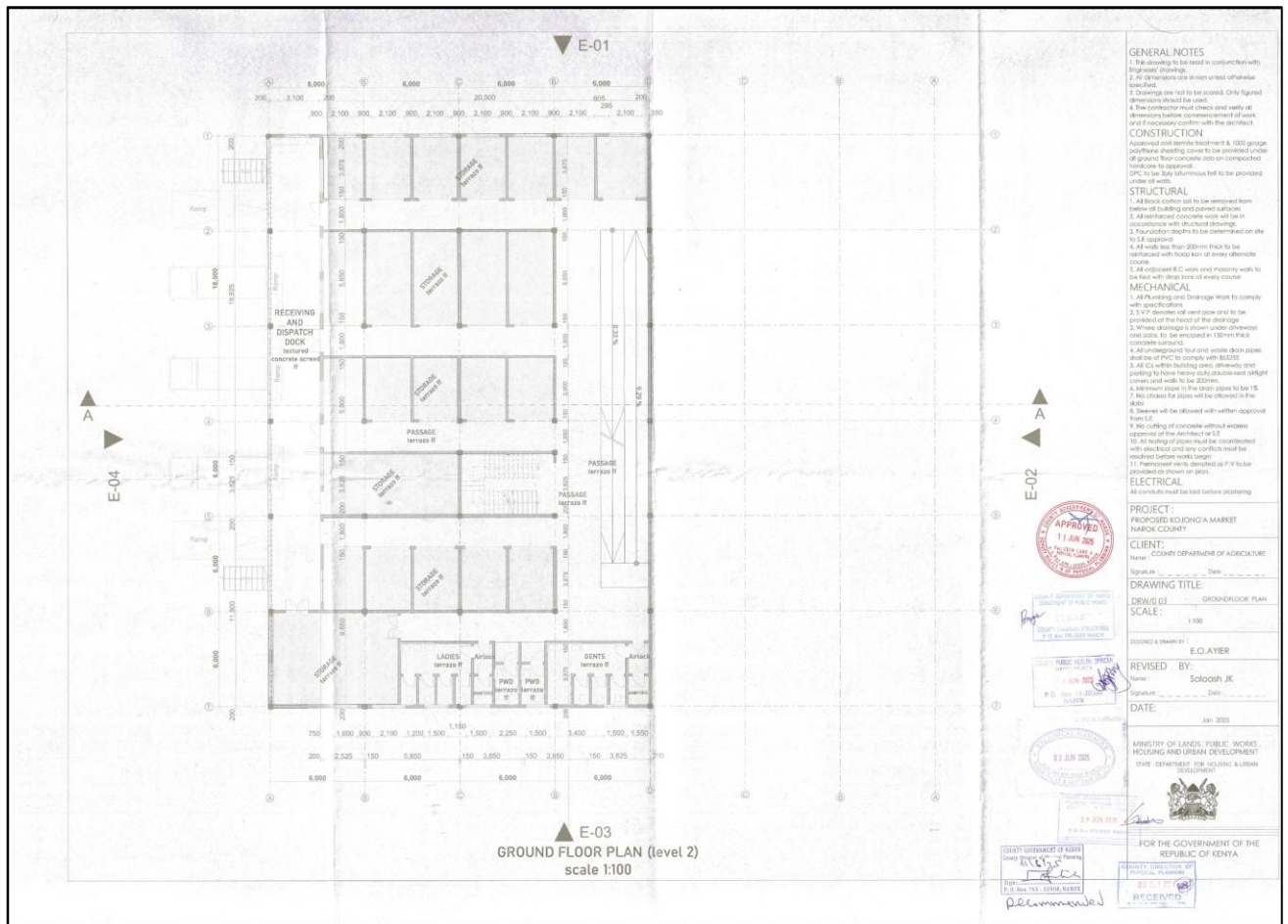


Figure 2: Kojonga Market Ground Floor Plan Layout

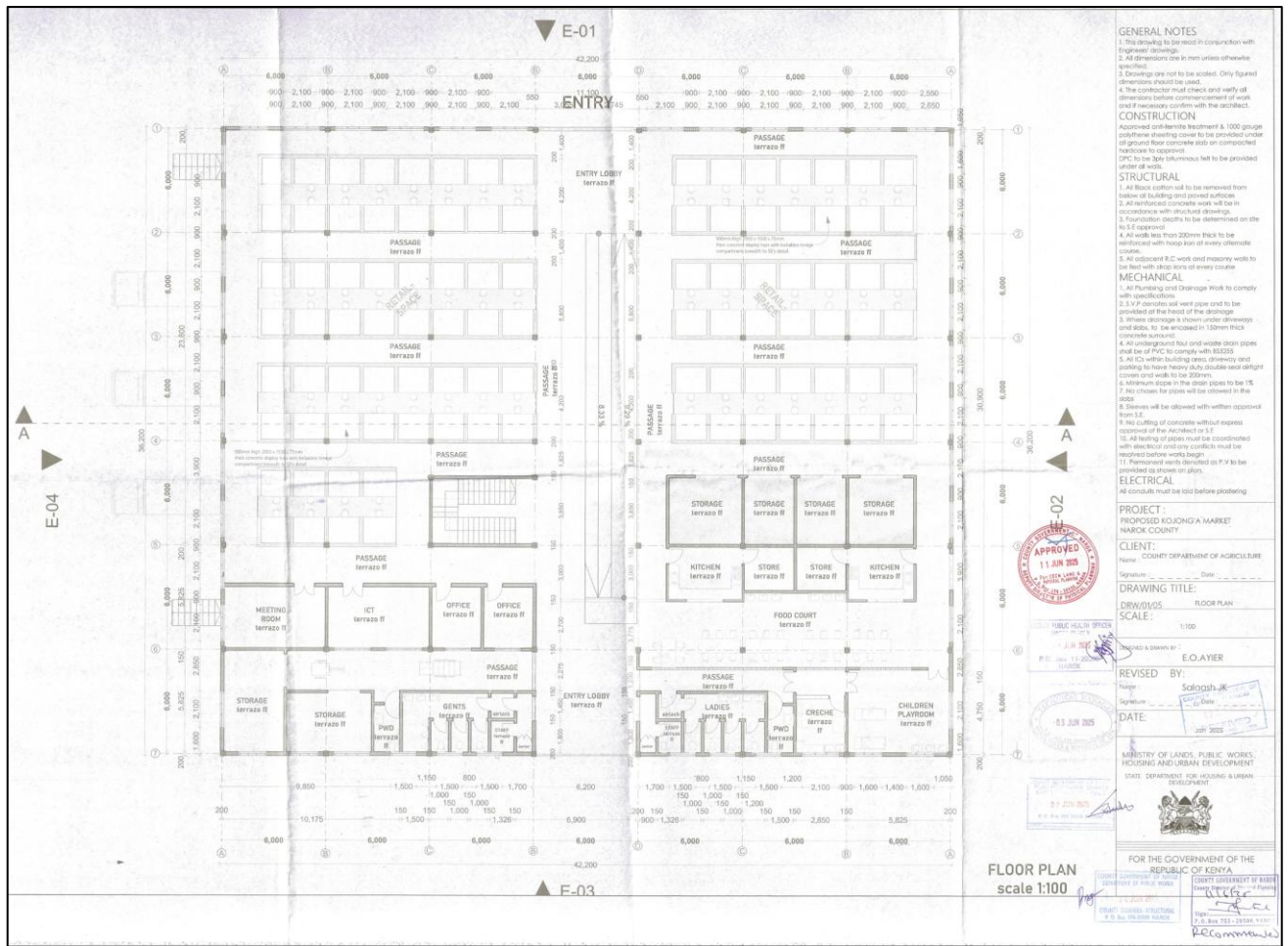


Figure 3: Kojonga Market Floor Plan Layout

2.4 Materials for Use

The proposed construction of the market will take in a considerable amount of artificial and natural material which will have both beneficial and adverse impacts on the environment. Both on-site and off-site impacts are anticipated from usage of construction materials. The most common of these impacts are income circulation in the economy, creation of employment opportunities, off-site depletion of raw materials, land degradation, pollution, excessive demand on raw materials and health hazards. The materials to use shall be those accepted to meet the environmental, public health and occupational health standards. The materials will include but not limited to; cement, steel, timber, glass, iron sheets, hard core, ballast, sand, chemical anti-termite treatment, roofing nails, hinges and locks, and pipes among others. The sources of these materials will be both local and external.

2.5 Project Activities

2.5.1. Preconstruction activities

Before the project construction, main activities will include mobilization & transportation of materials to the site and putting a temporary contractor's yard/structure at the site to store

building materials. The site has no structure that requires clearance in order to develop the project. The proponent, the contractor and the community leadership will hold meetings to set pace for the construction of the market.

2.5.2. Project activities during construction phase

The proposed market construction works will involve; excavations, backfilling and refilling, concrete works, timber works, electrical works, plumbing, masonry works and the installation of various equipment and items.

In this phase, construction will be undertaken to establish different components of the market as described in the section below. Upon completion of construction, trainings on utilization of established structures will be organized to facilitate efficient and effective use and enhance safety of the market participants.

a) Retail Spaces

The market will have a total of 108 retail spaces each measuring 0.9m high, 2m long and 1.5m wide. The spaces will have storage compartments below the platforms where the produce will be displayed for sale. The stalls will be used for retail trade for fresh crop produce. These will include cabbages, carrots, kales, spinach among other crop produce.

b) ICT Room

The market has a provision for an ICT room to facilitate agripreneurs and support market information for improved marketing in the facility.

c) Meeting room

A meeting room with space measuring 6m by 3m will be constructed to enable market participants especially the market management committee to hold meetings.

d) Offices

The facility will have 2 offices to accommodate the management committee and the county officers to facilitate smooth management of the market.

e) Playroom & Creche

The design of the proposed market will have provision for a children playroom & crèche to offer market users with babies and young children to nurse their young ones and also provide space for the children to play and therefore allow the mothers to attend to business.

f) Food Court

This section will have 2 kitchen rooms, 2 store rooms as well as a seating area to facilitate provision of catering services for market participants.

g) Washrooms

The market will also have 3-door toilet each for gents (with urinals) and for ladies as well as a bathroom each. There will also be a toilet in each of the sections for PWDs and a room to host cleaning equipment for the washrooms. The facilities will be connected to the septic tank to hold waste before transportation to proper disposal site.

h) Roads, Parking and Driveways

The project once complete will host large number of vehicles to facilitate transportation of produce to and from the market. Part of the construction activities will also include construction of driveways all-round the market as well as provision for ample parking, entry and exit sections in between the retail spaces, outdoor chilling space, external dining and loading and off-loading bay with ramps. Sanitary, plumbing and drainage works will also be undertaken in the market. The floors in the market space will be constructed with terrazo.

i) Water Infrastructure

Water is a basic requirement for use in the market with an approximate water demand of not more than 40m³/day for domestic and market cleaning. The project will access water from a nearby Kojonga spring whose hydrological assessment shows a near constant estimated mean yield of 78.53m³/d (report attached). The project will also utilize rain water through roof harvesting by use of gutters installed in all the roofs of the market structures. An underground water tank will be constructed and connected to the roof gutters to harvest rain water. In addition, 2 steel water tank towers will be constructed and the works will include supply and installation of 3 (10,000 litres) UPVC heavy duty plastic water tanks and a water pump to facilitate pumping of water to the receptacles. In addition, there will be several water points at strategic sections of the market to enhance cleaning and promote hygiene.

j) Waste Management Infrastructure

These will include provision of a solid waste collection point/bins to hold solid waste before transportation to county garbage disposal site. There will be provision for waste segregation bins to facilitate segregation of waste for ease of disposal appropriately. For liquid waste, there will be construction of a soak pit measuring 2.4m diameter x 10m deep, 2 gully traps, 8 manholes and foul water drainage to manage waste water especially from domestic & cleaning activities within

the market. A septic tank with a capacity of 90,000litres with estimated utilization by 400 people will be constructed to handle waste from sanitary facilities including toilets in the market as recommended under the Environmental Management and Coordination (Waste Management) Regulations, 2024.

k) Electricity Connection

The project is close to Kenya Power and Lighting Company power supply line therefore the construction activities will include installation of 3 phase mains electricity to supply power to the market infrastructure. Solar power will also be installed to complement the available energy sources and mainly to provide street lighting.

l) Fire Management Infrastructure

The market design has provision for installation of fire protection equipment such as hose reel, fire blankets and fire extinguishers. The electrical appliances will also be kept in a power house to be manned by trained personnel.

m) Perimeter Fence, Gates and Gate House

The site will be properly secured with a perimeter fence. The fence will have 14-gauge chain link fence with 12.5-gauge 6 strand galvanized wire through concrete posts placed 3m apart and 3 strands of barbed wire fixed to the top of concrete posts. The proponent will also put up 3 steel gates and a gate house to host security personnel.

2.5.3. Project activities during operation phase

Once the construction of the structures is completed, the market will be commissioned to allow trade of fresh farm produce and other attendant activities in the market. Some of these activities will include; transportation of farm produces to and from the market, food vending, financial service provision and other trading activities.

To ensure smooth operations in the market, the market management committee in collaboration with the County Government shall ensure measures are in place to ascertain proper functioning and maintenance of all the facilities in the market.

2.5.4. Project activities decommissioning phase

Although the investment is expected to serve for many years, decommissioning at some point could occur in the form of permanent withdrawal from the site or change of use of the project site. Demolition of structures is the most critical activity of decommissioning. Should there be need for project decommissioning in future, then a well-planned decommissioning procedure should be

put in place for smooth transition. The decommissioning process should be planned in adequate time and proper communication done to the relevant authorities and stakeholders and be approved by NEMA. The decommissioning audit report will include a comprehensive decommissioning plan to guide the process.

2.6 Project Cost and Budget

The total project cost is approximately KES. 98,867,704.46. This includes the cost of purchasing the materials and equipment to put up the facilities. The breakdown of the budget is as shown in appendix V;

2.7 Wastes and Emissions

a) Solid Waste

Waste likely to be generated during project construction phase will include breakages of steel bars, building blocks, ballast, paints, glass, tiles and iron sheets. During the project operation solid waste likely to be generated will be as a result of the operations at the market will include paper wastes from offices, food waste, as well as packaging materials for various consumables. Solid wastes can be injurious to the environment through blockage of drainage systems, choking of water bodies and negative impacts on animal health. Waste management laws in Kenya (Legal Notice 121: Environment Management and Coordination (Waste Management) Regulations, 2006) will be followed in the disposal of all types of waste produced during the construction, operation, and decommissioning phases.

b) Gaseous emissions

During the construction phase gaseous emissions will likely be generated by heavy machinery, trucks, and other vehicles that burn fossil fuels. These vehicles emit gases such as carbon dioxide (CO₂), nitrogen oxides (NO_x), and particulate matter (PM) as a result of combustion. These emissions contribute to air pollution and can have adverse effects on air quality. During the project operation the main source of emissions will be emissions by vehicles transporting produce to and from the market and also odours resulting from rotten vegetation.

c) Noise emission

Excavators, lifting devices, dumper trucks, compressors, generators, and other construction machinery and equipment will produce noise during the construction process. The operation phase noise will be produced by vehicles transporting produce to and from the market.

2.8 Operational and Market Management

The Department of Trade, Narok County will be responsible for overall market management, including setting rules, collecting fees, and ensuring market compliance. Kojonga market has a management committee formed and will complete its registration with social services by 22nd August, 2025. The committee will assist to oversee trading activities in the market. The functioning of the committee however lacks resources to undertake its functions. There is a need therefore to formalize the committee under the existing laws to be able to assist the County Government to run affairs of the proposed Kojonga market.

Before commissioning the project, popularization will be undertaken through use of signages, posters, and banners and stakeholder engagement will be a continuous process through value chain platform forums, community barazas and organized meetings. Trainings will be organized and conducted for market management committee members and users of the developed market structures.

Once commissioned, a designated market administrator will work hand-in-hand with the market management committee that will be responsible for day-to-day operations, such as to;

- regulate the entry of persons and of vehicular traffic into the market;
- develop income generating programs to maintain the market;
- assist the department to assign stalls and other facilities within the market to traders;
- assist the department in dispute resolution within the market;
- determine persons eligible to work at the markets;
- provide liaison between the market traders and the department;
- ensure garbage collection and management;
- open and operate a bank account for the market in which the market administrator will be a mandatory signatory;
- supervise the conduct of those who enter the market for transacting business;
- regulate the marketing of notified agricultural produce in the market area;
- fixing the time for holding auctions;
- collect, maintain, disseminate and supply information in respect of market activities including market intelligence;
- enforce the provisions of the rules, regulations and by-laws including the conditions of licenses granted;
- examination of contents of vehicles and other vessels and their seizure; and
- carry out any other functions as may be assigned by the department.

CHAPTER THREE: POLICY, LEGAL AND INSTITUTIONAL FRAMEWORK

3 Introduction

This section reviews national and international policies, laws and regulation governing environmental and social risk management in Kenya.

3.1 Policy Framework

The Kenya Government has in place an environmental policy for harmonizing conservation with its development plans. The balance will lead to food self-sufficiency and improved quality of life for man and other animals.

3.1.1. National Environment Policy, 2013

The objectives of the National Environment Policy include ensuring sustainable management of the environment and natural resources, such as unique terrestrial and aquatic ecosystems, for national economic growth and improved livelihoods and promoting and supporting research and capacity development as well as use of innovative environmental management tools such as incentives, disincentives, total economic valuation, indicators of sustainable development, Strategic Environmental Assessments (SEAs), Environmental Impact Assessments (EIAs), Environmental Audits (EA) and Payment for Environmental Services (PES).

The Policy sets out important provisions relating to the management of ecosystems and the sustainable use of natural resources. The policy seeks to develop an integrated approach to environmental management, strengthening the legal and institutional framework for effective coordination, promoting environmental management tools. The Policy recognizes ESIA as a tool for environmental management.

Relevance

The proponent for the construction of Kojonga fresh produce market shall undertake ESIA as stipulated and submit to the relevant authority for approval. The proponent will also implement the mitigation measures for the adverse impacts that will arise from the implementation of the project.

3.1.2. Agricultural Sector Transformation and Growth Strategy (ASTGS), 2019-2029

Agricultural transformation is critical to growing the economy, reducing the cost of food; alleviate poverty and delivering 100% food and nutrition security. The Strategy is based on the belief that food security requires a vibrant, commercial and modern agricultural sector that supports Kenya's economic development sustainably and its commitment to regional and global growth.

Relevance

The construction of Kojonga fresh produce market will result in increased household incomes which will empower the community to purchase food thus become food and nutrition secure.

3.1.3 Kenya Vision 2030

It is the national long-term development blueprint to create a globally competitive and prosperous nation with a high quality of life by 2030 in a clean and secure environment. It aims to transform Kenya into a newly industrializing middle income country. The Vision is anchored on the economic, social, and political pillar. Given the central role the agricultural sector plays in the economy, the achievement of national food security is to be a key objective.

Relevance *The proposed development project will promote the economic growth of the locality during construction and operation phases and help propel local communities to reach what is envisioned in the Vision 2030 development plan by developing the agriculture sector and more so by improving the production and marketing of the potato value chain and 4 other crop value chains in the county. The proposed project complies with the Constitution by proposing a framework in its ESIA on Social, Health, safety and environmental protection.*

3.2 Legal Framework

There are several pieces of legislation and policy documents related to this kind of development in Kenya. These include;

3.2.1 Constitution of Kenya 2010

Article 42 of chapter four, recognizes a healthy environment as a right to every person and calls for “sustainable exploitation and utilization of natural resources and establishes the National Environmental Commission (NEC) to conduct research on the environment and natural resources and examine and regulate resource use policies, practices and measures, particularly those contemplated in **Article 69**, and to have obligations relating to the environment fulfilled under **Article 70**

Chapter 5 of the document provides the main pillars on which the 77 environmental statutes are hinged. **Part I** of the chapter dwells on land, outlining the principles informing land policy, land classification as well as land use and property.

This CPR report satisfies the Constitution of Kenya requirement towards sound environmental management. The proponent shall ensure the market environment where the players will conduct their businesses will be consistently clean by ensuring provision of sanitary facilities as well as regular maintenance of structures.

3.2.2 The Land Act, 2012 (Legal Notice 6)

This is an act of parliament to give effect to Article 68 of the constitution to revise, consolidate and rationalize land laws; to provide for the sustainable administration and management of land and land-based resources, and for connected purposes. The Act applies to all land declared as: (a) public land under Article 62 of the constitution; (b) private land under Article 64 of the constitution; and (c) community land under article 63 of the constitution and any other written law relating to community land. The utilization of land resources under this category of land provided in the constitution, this act or any other written law is guided by the following values and principles of land management and administration;

- a) Equitable access to land,
- b) Security of land rights,
- c) Sustainable and productive management of land resources,
- d) Transparent and cost-effective administration of land,
- e) Conservation and protection of ecologically sensitive areas
- f) Elimination of gender discrimination in law, customs and practices related to land property.

This Act gives guidelines and the procedures on how the proponent will acquire and utilize land sustainably for improved production. One acre of land has been provided and designated by the County Government of Narok for use in developing the project. The relevant documents are as attached in appendix 10.

3.2.3 Environmental Management and Coordination Act (EMCA, 1999), revised 2015

Part II of the Environmental Management and Coordination Act entitles every person in Kenya to a clean and healthy environment. It seeks to safeguard and enhance sustainability of the environment. The act is a consolidation of the various sectoral laws on the environmental conservation, which had hitherto made it difficult to coordinate environmental protection. This Act gives guidelines on how to achieve a clean and healthy environment, which is an entitlement to every person in Kenya. The Act stipulates offences and penalties for environmental related offences.

Relevance

The proposed project has been written in accordance with the Environmental (Impact Assessment and Audit) regulation, 2019 (legal notice 31 & 32). It will be submitted to NEMA, which has the overall responsibility of enforcing this act. The Act also lists the type of projects which are low risk thus require development of a CPR.

3.2.8 Physical Planning Act, 2019

This is an Act of Parliament makes provision for the planning, use, regulation and development of land and for connected purposes.

The objects of this Act are to provide: -

- a. the principles, procedures and standards for the preparation and implementation of physical and land use development plans at the national, county, urban, rural and cities level;
- b. the administration and management of physical and land use planning in Kenya;
- c. the procedures and standards for development control and the regulation of physical planning and land use;
- d. a framework for the co-ordination of physical and land use planning by county governments;
- e. a mechanism for dispute resolution with respect to physical and land use planning;
- f. a framework for equitable and sustainable use, planning and management of land;
- g. the functions of and the relationship between planning authorities;
- h. a robust, comprehensive and responsive system of physical and land use planning and regulation; and
- i. a framework to ensure that investments in property, benefit local communities and their economies.

Relevance

The proposed project is located in a rural locality on public land dedicated for the implementation of the proposed project. The County Government of Narok shall ensure that the proposed project will conform to the land use and development plan for the county.

3.2.9 County Government Act, 2012

The act gives effect to Chapter 11 of the Constitution, which provides the county governments the powers to function and take responsibilities for the delivery of services within their designated counties including management of environment and natural resources among other responsibilities. The functions provided for in Article 186 of the constitution as assigned in the Fourth Schedule of the Constitution.

Trade is one of the devolved functions and that implementation of this project will help the county government to implement this function. In addition, waste management is also a devolved function and the contractor, the proponent and other stakeholders will be required to engage county-licensed waste handler to routinely collect and dispose the wastes.

Relevance

Narok County Government will be the custodian of the proposed market; the operation of the market will be administered by the Department of Trade, Narok County who shall ensure proper functioning of the facility.

This will include regular proper waste management and undertaking of market management roles as guided by established market regulations.

3.2.10 Narok County Trade and Markets Act, 2019

The Act mandates the Narok County Department of Trade to establish, maintain, manage and regulate public markets for the sale of marketable commodities therein and provide all such things as may be necessary for the convenient use of such markets. Through the ACT, the department shall appoint or designate officer(s) referred to as market administrator(s) to be responsible for the administration and management of public markets. It shall also oversee election of a market management committee, define their membership, roles as well as guidelines on removal of any of the member(s).

Through the ACT, the department of trade shall prescribe guidelines to ensure that an appropriate percentage of the revenue collected in every market is ploughed back to the respective market to be used for market improvement, provision of amenities and administrative costs including allowances for the committee members in all markets within the county. The Executive Committee Member in charge of trade shall prescribe guidelines for managing the allocation of trading space or operating area within a market.

Relevance

Narok County Government through the Department of Trade shall ensure effective functioning and management of Kojonga market as prescribed by the Act.

3.2.11 The National Construction Authority Act, 2011

The National Construction Authority Act, Number 41 of 2011, modernizes, reforms, and controls the Kenyan construction sector. The Act aims to enhance the standards of construction, ensuring safety, sustainability, and efficiency in building practices. Each and every contractor needs to register with the Authority. Any building activity that is done without first registering with the Authority is illegal. The Act includes provisions pertaining to the safety and quality requirements for any construction activities.

The proponent will ensure a licensed contractor and engineers as per the Act is engaged to undertake construction of Kojonga market. In addition, the proponent will ensure adherence to established standards for construction including registration with Construction authority.

3.2.12 Agriculture and Food Authority (AFA) Act No. 13 of 2013 (revised 2015)

This Act provides for the establishment of the Agriculture, Fisheries and Food Authority, the administration of matters of agriculture and the preservation, utilization and development of agricultural land and related matters.

The design of this project has been guided by the preservation requirements, which are provided for in this Act. It proposes good agricultural practices that will enhance productivity and profitability of food & cash crops value chains to ensure food and nutrition security, and increased incomes.

3.2.13 Occupational Health and Safety Act, 2007

The Act provides for the safety, health and welfare of workers and all persons lawfully present at work place, as well as the establishment of the National Council for Occupational Safety and Health (OSH). The Act applies to all workplaces where any person is at work, either temporarily or permanently. It expounds on the purpose, which is to secure the safety, health and welfare of persons at work as well as protecting persons other than persons at work against risks resulting from, or connected to, activities at workplace. Further, sections 43 and 44 of part V give regulations on registration of work places.

Relevance

The proposed project will require significant manpower to work and will thus result in employment of quite a number of people. There will also be need for designated workplaces for operation. Thus, the proponent shall ensure compliance with the relevant provisions in this Act to ensure that workers operate in a safe healthy environment and that their welfare shall be catered for.

3.2.14 Public Health Act (Cap 242)

This Act makes provision for securing and maintaining health. Part III and IV of the Act focuses on notification, prevention and suppression of infectious diseases, including inspection, disinfection and provision of medical aid to affected parties in case of outbreaks of infectious diseases. Part IX regulates on sanitation and housing, granting health authorities powers to prevent or remedy any dangers to health arising from poor handling of sanitation issues as well as improper housing and nuisances arising thereof. Besides, regulations governing prevention and destruction of mosquitoes, encompassing due maintenance of yards, premises, wells, cesspits and identification and destruction of breeding places are entailed in part XII and also disposal of wastes.

Relevance

Sanitation and waste disposal, disease outbreaks and communal resource sharing are obvious issues in the project during design and implementation phases. This report has outlined measures to mitigate

communicable diseases. The proponent during construction and operations phase shall implement public health and safety measures including proper waste management through construction of toilets, provision of waste collection bins and proper drainage systems to minimize infections.

3.2.15 Sustainable Waste Management Act, 2022

Sub-section 12 (1) states that all public and private sector entities shall segregate non-hazardous waste into organic and non-organic fractions. Sub-section 12 (2) requires the segregated waste to be placed in properly labelled and colour coded receptacles, bins, containers, and bags.

The County Government of Narok shall ensure provision of waste management bins to segregate wastes in the market and a licensed waste handler engaged by the county will periodically collect the wastes for proper disposal.

3.2.16 Work Injury Benefits Act (WIBA), 2007

The **WIBA** Act provides for compensation to employees for work related injuries and diseases contracted in the course of their employment in work places and for connected purposes. **Section 7(a) of the Act**, on the obligations of the employer, requires an employer to obtain and maintain an insurance policy with an insurer approved by the State in respect of any liability that the employer may incur under this Act to any of his employees.

Section 10(I) states that an employee who is involved in an accident resulting in the employee disablement or death is subject to the provisions of this Act, and entitled to the benefits provided for under this Act. It also states expressly that an employer is liable to pay compensation in accordance with the provisions of this Act to an employee injured while at work.

On First Aid covered in **section 45(I)**, an employer is supposed to provide and maintain such appliances and services for the rendering of first aid to his employees in case of any accident as may be prescribed in any other written law in respect of the trade or business in which the employer is engaged.

Relevance

The project proponent and contractors will employ workers during construction and operational phase of the project; they may face myriad of challenges to their health, safety and security, either from the equipment of use or work processes. This report has outlined work place safety measures to be adhered to by the proponent and the contractor such as provision of first aid equipment, fire extinguisher and PPEs. The contractor for Kojonga market shall provide insurance cover to workers during construction period.

3.2.17 The Public Procurement and Asset Disposal Act No. 33 Of 2015

The Public procurement and asset disposal provides guidelines on procurement and disposal of public assets. State organs and public entities shall be guided by the following values and principles of the Constitution and relevant legislation; the national values and principles provided for under Article 10; (b) the equality and freedom from discrimination provided for under Article 27; (c) affirmative action programs provided for under Articles 55 and 56; 2015 Public Procurement and Asset Disposal 1971 No. 33 (d) principles of integrity under the Leadership and Integrity Act, 2012; No. 19 of 2012. (e) the principles of public finance under Article 201; (f) the values and principles of public service as provided for under Article 232; (g) principles governing the procurement profession, international norms; (h) maximization of value for money; (i) promotion of local industry, sustainable development and protection of the environment; and (j) promotion of citizen contractors.

The proposed project of will involves procurement of services and works. The Proponent shall conform to the guidelines provided by this Act since public resource will be utilized in its implementation.

3.2.18 National Policy on Gender and Development Sessional Paper No. 2 of 2019

The goal of the policy is to “achieve gender equality and women’s empowerment in national development so as to enhance participation of women and men, boys and girls, vulnerable and marginalized groups for the attainment of sustainable development”. The policy sets, legislative and administrative measures to address the existing gaps in the realization of gender equality and women’s empowerment.

Relevance

The project proponent will endeavour to offer equal opportunities for all including women and youth through provision of jobs, include all gender categories in project leadership and implementation.

3.2.19 The Sexual Offences Act of 2006 (Miscellaneous Amendments 2024)

The aim of the Sexual Act is to explain sexual offences and make ways to prevention and protection of all persons from illegal Sexual Act.

The community was sensitized on Sexual Offences Act during the screening exercise and this report has outlined measures to prevent the same. The proponent and contractor shall ensure community and workers are sensitized on the provisions of the Act.

3.2.20 HIV/AIDS Prevention and Control Act, 2017

The Act creates public awareness on causes, modes of transmission, consequences and means of prevention and control of HIV and AIDS. It protects the rights of the infected and affected and outlaws

discrimination in all its forms against persons living with HIV and AIDS or those perceived or suspected to have HIV and AIDS. The significant number of people that will be deployed during the development of the project may lead to incidences of HIV/ AIDS and there may be gender issues in all the stages of implementation.

Relevance

The contractor and market committee will sensitize workers and community members on prevention of HIV and AIDS, ensure distribution of condoms at the site, provide signages and will ensure rights of people infected are protected.

3.3 Regulatory Framework

3.3.1. Environmental Management and Co-ordination (Waste Management) Regulations, 2024

Regulations guiding waste management are described in Legal Notice No. 178 of the Kenya Gazette Supplement No. 197 of 4th November 2024, Legislative Supplement No. 86. They offer legal provisions on handling of a variety of wastes emanating from various projects and activities. The waste categories covered by the regulations include; Industrial wastes, hazardous and toxic wastes, pesticides and toxic substances, biomedical wastes, radio-active substances and other undesired wastes solid and non-solid wastes. These Regulations outline requirements for handling, storing, transporting, and treatment/disposal of all waste categories as provided therein.

Relevance

The proposed project may result in generation of undesired solid or liquid wastes during construction and operational phase. This report incorporates actions to be taken by the proponent and the contractor to ensure compliance with this regulation during all the phases of the project.

3.3.2. Environmental Management and Coordination (Noise and Excessive Vibration Pollution) Control Regulations, 2009

The regulation prohibits making or causing any loud, unreasonable, unnecessary or unusual noise, which annoys, disturbs, injures or endangers the comfort, repose, health or safety of others (individual or communities) and within the surrounding environment and biodiversity. Under the regulation, the contractor is prohibited from producing excessive noise and vibrations which annoy, disturb, injure or endanger the comfort, health or safety of others and the environment or excessive vibrations which exceed 0.5 centimeters per second beyond any source property boundary or 30 meters from any moving source.

Relevance

Construction phase of the project will involve use of machinery which may produce excessive noise and vibrations. This report has prescribed actions to be undertaken by the contractor and the proponent to ensure minimal noise levels during construction period until completion.

3.3.3. Environmental Management and Co-ordination (Air Quality) Regulations, 2014

The objective of these Regulations is to provide for the prevention, control and abatement of air pollution to ensure clean and healthy ambient air. These regulations apply to all premises, places, processes, operations or works to which provision of the EMCA and regulations made thereunder apply.

The contractor will ensure measures to minimize air pollution as stipulated in the Act are adhered to. The measures are also provided for in the ESMP in this report.

3.3.4. Environmental Management and Coordination (Fossil Fuel Emission Control) Regulations, 2006

These regulations are described in Legal Notice No. 131 of the Kenya Gazette Supplement No. 74 of October 2006 and apply to all internal combustion engine emission standards, emission inspections, the power of emission inspectors, fuel catalyts, licensing to treat fuel, cost of clearing pollution and partnerships to control fossil fuel emissions. The fossil fuels considered are petrol, diesel, fuel oils and kerosene. This will be applicable to equipment and machinery used in ferrying construction materials in the project site during operation phases of the project, hence excessive emissions of combustion smoke should be controlled.

Relevance

During the operation phases of the market, vehicles, machinery and other equipment driven by power from fossil fuels will be used. These will emit gases, combustion smoke, fuel and oil spills which are environmental pollutants. This study has prescribed guidelines for maintenance of machinery and handling of fossil fuels and oils. It also encourages use of renewable energy as an alternative source of energy to promote green energy and minimize pollution to the environment.

3.4 Institutional Framework

There are a number of institutional frameworks that are relevant to the development of this project. These include: -

3.4.1. The National Environmental Complaints Committee

The revised Act (EMCA) 2015 replaced the Public Complaints Committee with the National Environmental Complaints Committee. The section 20 of the Amendments Act outlines the functions of the National Environment Complains Committee which are: prepare annual reports on the state

of the environment and facilitating alternative dispute resolution mechanisms relating to environmental conflicts.

Relevance

The committee will handle any complaint that may be related to the proposed project in the event it escalated beyond the county level management

3.4.2. The National Environmental Management Authority

The responsibility of the National Environmental Management Authority (NEMA) is to exercise general supervision and co-ordination over all matters relating to the environment and to be the principal instrument of the government in implementation of all policies relating to the environment.

The authority is mandated to carry out, among others, the following activities in the sector;

- Promote the integration of environmental considerations into development policies, plans, programs and projects.
- Undertake and coordinate research, investigation, and surveys, collect, collate and disseminate information on the findings of such research, investigations or surveys.
- Identify projects and programs for which environmental audit or environmental monitoring must be conducted under EMCA.
- Initiate and evolve procedures and safeguards for the prevention of accidents, which may cause environmental degradation and evolve remedial measures where accidents occur e.g. floods, landslides and oil spills.
- Undertake programs intended to enhance environmental education and public awareness in cooperation with relevant lead agencies. Render advice and technical support, where possible, to entities engaged in natural resources management and environmental protection.

Relevance

NEMA is the organization mandated to oversee compliance of the project to environmental standards as prescribed in EMCA 1999(Revised 2018). The Authority will approve the project subject to adherence to the ACT and attendant relevant regulations and shall monitor compliance including regular audit of the project.

3.4.3. National Environmental Tribunal (NET)

NET was created in accordance with section 125 of the EMCA in order to review appeals from administrative rulings made by bodies in charge of enforcing environmental standards.

NET is tasked with hearing and resolving technical administrative law disputes as well as appeals against administrative rulings made by NEMA and other bodies tasked with upholding the Act. (EMCA Section 129).

Relevance

The NET is charged with responsibility of handling disputes or appeals pertaining to administrative rulings made by authorities such as NEMA. In case of occurrence of such disputes, the tribunal shall be engaged to handle the cases to ensure they are resolved amicably.

3.4.4. Narok County Government

The County Government through the Department of Trade is mandated to promote and facilitate trade development through providing business support and advisory services, carrying out regular assessment on business climate; reviewing policies and practices that affect business climate and advising the on appropriate measures to be adopted for promoting trade development; facilitating access to markets for goods and services produced in the county; and facilitating and promoting trade within and outside the County.

Relevance

The Department of Trade, Narok County is mandated to undertake management of the market in collaboration with community leadership spearheaded by a market management committee. The department shall ensure proper and effective operationalization of the facilities in the market.

3.5 World Bank Environmental and Social Standards

To reduce, minimize and mitigate adverse risks and impacts and undue harm of its development projects to the environment, all World Bank-financed projects are guided by applicable environmental and social standards under the Environmental and Social Framework (ESF). The current environmental and social policies of the Bank are known as the "Safeguard Policies". The safeguard policies that will be applicable during construction & operationalization of proposed Kojonga market will include the following;

3.5.1. ESS1: Assessment and Management of Environmental and Social Risks and Impacts:

This policy sets the borrowers responsibilities for assessing, managing and monitoring environmental and social risks and impacts associated with each stage of a project supported by the Bank through Investment Project Financing (IPF).

The proponent shall ensure undertaking of Environmental and Social Impact Assessment as well periodic assessments and monitoring of environmental and social risks and impacts associated with each stage of the proposed construction of Kojonga market.

3.5.2. ESS2: Labor and Working Conditions

- a) To promote safety and health at work
- b) To promote the fair treatment, non-discrimination and equal opportunity of project workers
- c) To protect project workers, including vulnerable workers e.g. women, PLWD, children (of working age, in accordance with this ESS) and migrant workers; contracted workers, community workers and primary supply workers
- d) To prevent the use of all forms of forced labor and child labor
- e) To support the principles of freedom of association and collective bargaining of project workers in a manner consistent with national law
- f) To provide project workers with accessible means to raise workplace concerns

The project proponent & contractor shall ensure compliance to the above through provision of equal opportunities for all gender categories in provision of work, putting in place functional grievance redress mechanism, ensuring measures for occupational health and safety are adhered to.

3.5.3. ESS3: Resource Efficiency and Pollution Prevention and Management

Recognizes that economic activity and urbanization often generate pollution to air, water, and land, and consume finite resources that may threaten people, ecosystem services and the environment at the local, regional, and global levels. Such pollution include GHG that threatens the welfare of current and future generations.

It advocates for adoption and use of more efficient and effective resource use, pollution prevention and GHG emission avoidance, and mitigation technologies and practices.

The proponent for Kojonga market shall put in place adequate measures to manage resources efficiently and control pollution within the market. These include adoption of renewable/green energy such as solar energy, measures such as minimal soil disturbance, proper waste disposal including provision waste receptacles, and water efficient technologies such as fixing of taps to control use of water.

3.5.4. ESS4: Community Health and Safety

Recognizes that project activities, equipment, and infrastructure can increase community exposure to risks and impacts. In addition, communities that are already subjected to impacts from climate change may also experience an acceleration or intensification of impacts due to project activities and addresses the health, safety, and security risks and impacts on project-affected communities.

Responsibility of Borrowers to avoid or minimize such risks and impacts, with particular attention to people who, because of their particular circumstances, may be vulnerable.

The proposed project will be implemented with appropriate framework put in place to minimize risks to human health of the community within the market.

3.5.5. ESS5: Land Acquisition, Restrictions on Land Use and Involuntary Resettlement

ESS5 recognizes that project-related land acquisition and restrictions on land-use can have adverse impacts on communities and persons. Project-related land acquisition or restrictions on land use may cause physical displacement (relocation, loss of residential land or loss of shelter), economic displacement (loss of land, assets or access to assets, leading to loss of income sources or other means of livelihood), or both Involuntary resettlement – when affected persons or communities do not have the right to refuse land acquisition or restrictions on land use that result in displacement.

The proponent has ensured compliance to this standard through appropriate acquisition of 1 acre of land designated for such development and community members and other stakeholders shall have unrestricted access to the resource once the market has been established.

3.5.6. ESS6: Biodiversity Conservation and Sustainable Management of Living Natural Resources

ESS6 recognizes that protecting and conserving biodiversity and sustainably managing living natural resources are fundamental to sustainable development. Recognizes the importance of maintaining core ecological functions of habitats, including forests, and the biodiversity they support. All habitats support complexities of living organisms and vary in terms of species diversity, abundance and importance. Addresses sustainable management of primary production (cultivation or rearing of plants or animals, aquaculture, plantation forestry etc.) and harvesting of living natural resources

The proposed project site is not near forests or natural habitat. The farmers own individual land parcels and practice sustainable agricultural production to conserve the environment. Assessment for this investment was assessed for its potential impacts on habitat and biodiversity.

3.5.7. ESS8: Cultural Heritage

ESS8 recognizes that cultural heritage provides continuity in tangible and intangible forms between the past, present and future. It sets out measures designed to protect cultural heritage throughout the project life cycle and provides general provisions on risks and impacts to cultural heritage from project activities.

The proposed project blends well with the cultural perspective of the community in the project area who practice both crop and livestock farming. A chance find procedure is attached in the annex for the contractor and proponent during the construction phase.

3.5.8. ESS10: Stakeholder Engagement and Information Disclosure

ESS10 recognizes the importance of open and transparent engagement between the borrower and project stakeholders as an essential element of good international practice. Stakeholder engagement is an inclusive process conducted throughout the project life cycle and supports the development of strong, constructive and responsive relationships that are important for successful management of a project's environmental and social risks.

The proponent has proactively engaged stakeholders associated with the proposed project and shall be incorporated in all stages of the project cycle. Disclosure of information pertaining to the project has been consistently disseminated and will be maintained throughout the project phases in the public barazas, disclosure boards and signposts during the project life cycle.

CHAPTER FOUR: CHARACTERISTICS OF THE PROJECT AREA

4.1. Introduction

This chapter describes the environmental, socio-economic and biophysical characteristics of the proposed project area. It provides a better understanding of the area and facilitates conceptualization of the appropriateness of the project both by site and importance to the community. This report is expected to provide for a benchmark for continued monitoring and assessment of the impacts of the proposed project on the environment and social life.

4.2. Location of the project site

The proposed project will be established in Kojonga Centre, Mosiro Ward, Narok East Sub-County, Narok County. The site is on GPS Coordinates Latitude -0.96804404, Longitude 36.1291915. Kojonga centre is located 17kms from Ntutele town accessed via a murrum road connecting with the Narok-Mai Mahiu tarmac road. The site can also be accessed through a murrum road from Nairege Enkare town a distance of about 19kms.



Figure 4; Proposed Site for Construction of Kojonga Fresh Produce Market

4.3. Administrative Units

Narok County is located in the Southern of the Great Rift Valley. It borders the Counties of Kisii, Migori, Nyamira, Bomet, Nakuru and Kajiado and covers an area of 17,933km². It is divided into 7 administrative sub-counties namely: Trans Mara West, Trans Mara East, Trans Mara South (newly delineated from Trans Mara West), Narok North, Narok South, Narok West and Narok East. The sub-counties are further sub- divided into 30 Wards.

The proposed market is in Mosiro Ward, Narok East Sub County, Narok County. Mosiro Ward covers an area of 803.4 Sq. Km, with 4 sub locations namely; Ntulele, Ongata Naado, Mosiro and Kojonga (Mosiro Ward PICD report, 2023)

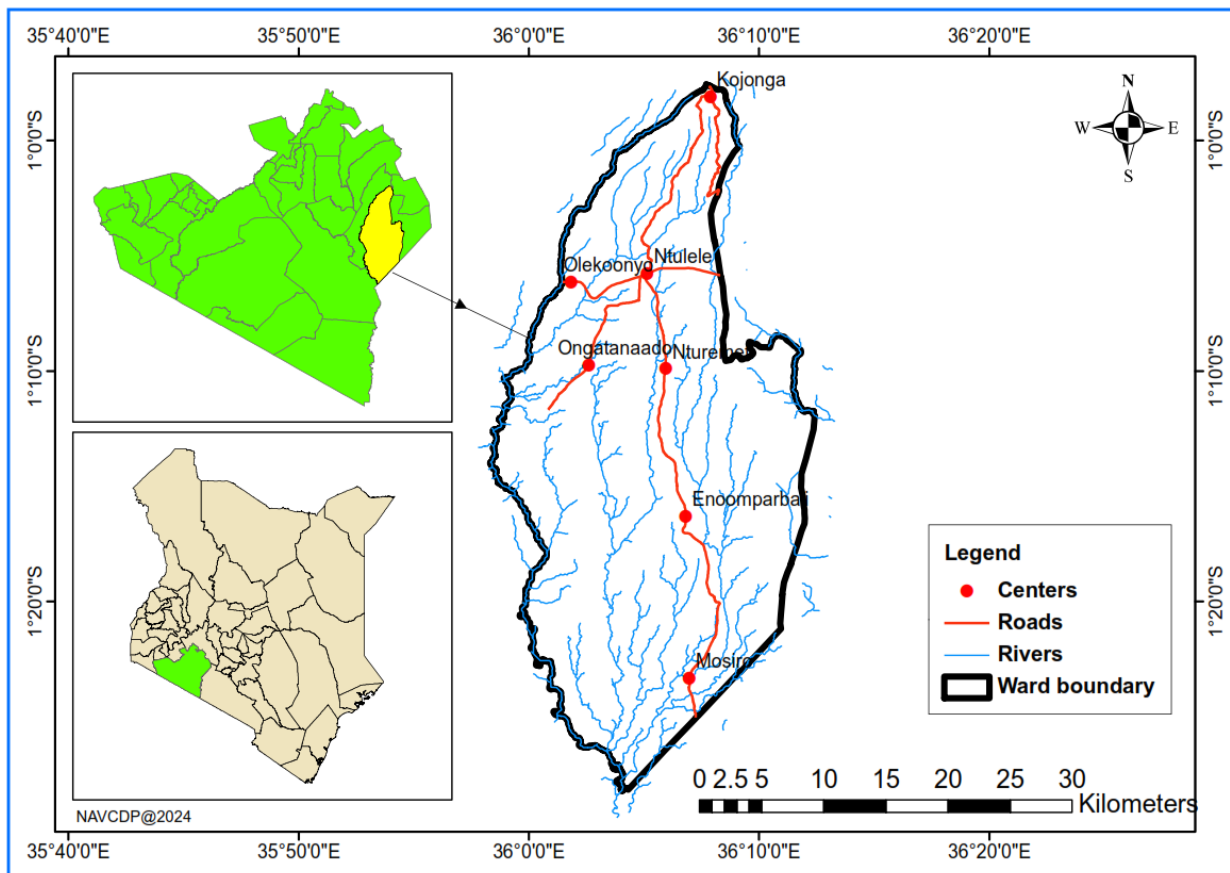


Figure 5; Mosiro ward map

4.4. Population and Demography

According to the Kenya Population and Housing Census of 2019, the County population stood at 1,157,873 as indicated in the table below. Out of this population, 579,042 were recorded as males, 578, 805 were females and 26 were intersex. The number of Households in the County was recorded at 241,125 with average Household size of 4.8 persons.

Narok East Sub- County where the project is located has a total population of 115,323 (58,699 Males, 56,617 Females) with 25,078 households and a population density of 56. Mosiro Ward has a population of over 44781 both male and females. The average household size in Mosiro Ward is approximately five persons.

4.5. Altitude and Soils

The area where the proposed project will be implemented is gently sloping. The surrounding areas are hilly and undulating. The soils in the region are clay loams as shown in the figure and table 3

attached below. The soil is well drained and suitable for growing of horticultural crops and cash crops like maize.

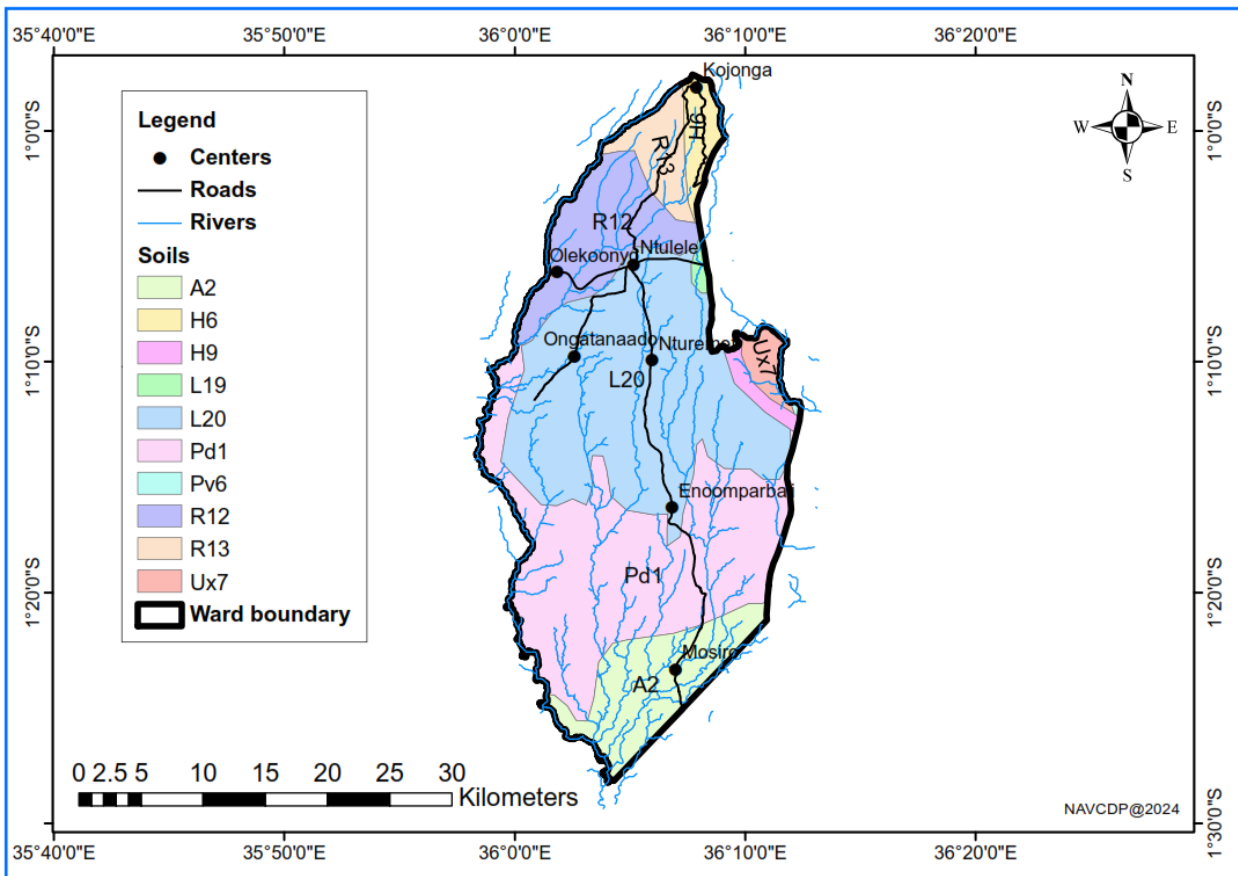


Figure 6; Mosiro ward landscape/Soils map

Table 1: Soils and Land Forms Description in Mosiro ward

Soil Code	Soil	Land form
A2	Silty clay loam to clay	Flood plains
H6	Clay loam	Hills and minor scarps
H9	Loam to clay loam	
L19	Loam to clay loam	Plateau and high-level plains, flat to gently undulating
L20	Clay loam to clay	
Pd1	Sandy clay loam to clay loam	Plains
Pv6	Loose fine sand to fine sandy loam or silt	Volcanic plains
R12	Sandy clay loam to clay loam	Volcanic foot ridges, undulating to hilly
R13	Sandy clay loam to clay	
Ux7	Stony loam	Uplands, undulating to rolling

4.6. Rainfall and Temperature

Mosiro Ward receives annual rainfall that varies each year but generally ranges from 500 to 1,800 millimetres. The distribution pattern is bimodal with the long rains falling from March to May and short rains received between September and November. The average annual temperature ranges from 18°C to 22°C.

4.7. Land Use and Tenure System

Land ownership in Narok is either community land, trust land or private land. Community land is land held communally and registered as a group ranch. Due to population growth, community land ownership is rapidly diminishing as a result of land subdivision championed by members of the ranches – free hold titles. Trust land is held by the county government on behalf of the people of Narok. This type of land is mainly in urban centres, forest reserves and Maasai Mara game reserve.

Private land is emerging as a result of disbandment of group ranches and community land. In urban centres, private ownership is in the form of lease hold titles while in the rural areas, people have freehold titles. Private land ownership has led to the land owners leasing out their land to investors. The average land holding size in the county is approximately 6.4 Hectares. The average farm size under small scale is 6.1 Hectares and that of large scale is 26.3 Hectares. The percentage of land with title deeds is greatly influenced by the subdivision of group ranches and adjudication. About 80% of land owners have title deeds for their land.

Land in the project area has largely been sub-divided with individual land owners possessing title deeds. The proposed market will be constructed in public land designated for development of the same. Land use in the area is mainly used for supporting agriculture both for crop and livestock production.

4.8. Flora and Fauna

Some of the vegetation observed within the project area include buffalo grasses, quince, Japanese knotweed, sages among other tree and grass species. No vegetation exists in the proposed project site. The area has livestock with the main types kept including cattle, sheep, goats, poultry and bees. There are no wild animals in the area. The proposed project site is not in a protected area and is not home to any threatened or endangered species.

4.9. Transport and Communication

Narok County has a road network of 4,602 KM out of which the national government is in charge of 1,348km and the county government takes 3,254 KM. From the network, approximately 441 Km is tarmacked, 1470 KM is gravelled and 2,691 KM is earth road. The main challenge has been that during the rainy season some of the murrum roads are rendered impassable. This has hindered most of

highly agricultural areas from reaching their potential. The county has 15 air strips both publicly and privately owned and mostly located in or adjacent to Maasai Mara game reserve. Ewaso Ngiro airstrip if developed into a international airport can boost trading as well as tourism activities around Narok town. (Narok County Physical and Land Use Development Plan 2023-2032)

Road network in the proposed project area is largely murrum and earth roads which are inaccessible during the rainy season posing challenges of accessibility to transport fresh produce. The main road connecting Kojonga and Ntulele township has been mapped by Kenya Rural Roads Authority (KERRA) but is yet to be graveled. The road from Nairege Enkare and also from Sagutiek centre are also not in good condition. If repaired, the roads will facilitate efficiency of trade through ease of access to the site to transport farm produce to available outside markets.

The area has reliable coverage to available telecommunication networks therefore wireless connectivity would be easily installed and operationalized.

4.10. Energy

The main sources of energy in Narok County are electricity, solar energy, LPG, biogas, paraffin, charcoal and firewood. Inadequate access to clean sources of energy especially in the rural areas is an impediment to development in the county. Residents in the project area rely on solar energy, paraffin and firewood as the main sources of energy. Kojonga centre is connected to the KPLC national grid with 3-phase transformer closer to the site. Once constructed, the market can easily be connected with electricity as well as solar energy to facilitate effective delivery of services.

4.11. Water and Sanitation

Low flows in rivers and springs have continued to be recorded in the county mainly due to water sources and catchments degradation. The major sources of water in the project area are streams, rainwater harvested and shallow wells dug by individual land owners. Lack of a properly developed sewerage system and good drainage system in urban centres such as in Narok Town and Kilgoris is a major threat to good sanitation. Lack of these systems has exposed these towns to risk of disease outbreak especially during the rainy season. In Narok East, disposal of human waste is largely undertaken by use of pit latrines and slightly by use of open/bush. It is thus imperative to continue sensitizing community members on proper waste disposal to minimize risks of contamination.

There is no sewage treatment plant in the area hence the proposed investment will be required to have septic tanks or soak pits to handle effluents. The proponent is also advised to contract licensed handlers to dispose solid wastes accordingly. The study team also recommends assessment of the existing springs to determine the availability of a permanent source of clean water that can be

explored for drinking and domestic use within Kojonga market. Harvested rainwater could also be treated to facilitate safe use by market participants.

4.12. Social-Economic Attributes

4.12.1. Crop & Livestock farming

The Maasai community is the major community living in the area but with influx of many people into to undertake growing of horticultural crops which performs well in the project area. Some of the crops that are grown in the area include potatoes as the main one, green peas, carrots, kales, spinach, cabbages and maize. The area also supports rearing of cattle both dairy & beef, sheep, goats, chicken and donkeys as the major livestock-based enterprises.

4.12.2. Tourism

Maasai Mara Game reserve located in Narok County is a home to the country's highest wildlife density and as such is Africa premium wildlife destination. The reserve is home to a variety of wildlife including Wildebeests, Gazelles, Zebras, Warthogs, Hyenas, Giraffes, Elephants, Lions, Leopards and Elands. The reserve hosts wildbeests' migration which is commonly known as the 7th Wonder of the World which attracts tourists annually from all over the world to witness the event.

4.12.3. Religious and cultural practices

Christianity is the main religion in the project area and there are a number of denominations which have built churches within the project area.

4.12.4. Markets and Urban Centres

There are 3 major markets in Mosiro Ward which include; Ntulele, Kojonga and Mosiro Oloosokon. The County Government of Narok is currently constructing modern market structures in Ntulele market which 17kms away from the project site.

Main trading centers include Nairege Enkare (19kms), Ntulele (17kms) and Narok Town which is 47kms from Kojonga.

4.12.5. Education Institutions

Education institutions in Kojonga sub location include primary and secondary schools. The primary schools are; Kojonga, Olenkomeei, Olosiro, Ilkerimisho, Oldare and St. Monica. There is only one Secondary School which is Aramat Secondary. There are no tertiary colleges near the site. The nearest is Maasai Technical College located about 32kms away.

4.12.6. Health Facilities

Nearest health facilities to the proposed project is Kojonga Health Centre which is 500 metres away while Ilkeremisho health centre is located 15kms from the project site. Serious medical cases in the area are referred to Narok County Referral hospital 47 kms away.

4.12.7. Police and prisons

There is a police post at Kojonga Centre while the nearest prison is in Narok Town.

4.12.8. Administration

Kojonga Ward is located in Narok East Sub- County in Narok County. The nearest Deputy County Commissioner's (DCCs) office is in Nairege Enkare which is the sub-county headquarters. There is an assistant chief's office for Kojonga Sub-location located near Kojonga market. Narok County Government administration is represented by the Mosiro Ward administrator.

4.12.9. Social amenities

Recreation facilities within the Narok Municipality include playgrounds, stadiums, and open spaces. The William Ole Ntimama Stadium is well developed with facilities such as offices, washrooms, changing rooms, modern football pitch among other structures. There are no formal public parks in Mosiro ward. The main recreation facilities are sporting fields in schools in the ward.

4.12.10. Financial institutions including cooperatives

Most banks are based in Narok town. Agents of MPESA, KCB and Equity are located in Kojonga Centre. There is a potato-based producer cooperative society drawing members from the project catchment.

CHAPTER FIVE: PUBLIC PARTICIPATION AND STAKEHOLDER CONSULTATIONS

5.1. Introduction

Consultation and public participation are a key component of the ESIA process that helps in gathering environmental data, understanding likely impacts, determining community and individual preferences, selecting project alternatives and designing viable and sustainable impact enhancement and mitigation measures. During the project life cycle, consultation and public participation is undertaken in the conceptualization, design, construction and initial operation phases.

Consultative public participation as an ESIA procedure is an aid to project management. It is a useful tool for gathering local environmental information by understanding anticipated impacts from local people who have lived and understand their environment better.

The role of public consultation and involvement in CPR development process is to assure the quality, comprehensiveness and effectiveness of the assessment and ensure that the public views are adequately taken into consideration in decision-making process.

5.2. Objective of Public Participation

The primary goal of public consultation process was to inform stakeholders about the proposal, canvass their inputs, views and concerns in the design of the mitigation measures and a management plan.

The specific aims of the consultation process were?

- Obtain local knowledge that may be useful for decision-making;
- Improve project design and, thereby, minimize conflicts and delays in implementation;
- Increase long term project sustainability and ownership;
- Reduce problems of institutional coordination;
- Facilitate consideration of alternatives, mitigation measures and tradeoffs;
- Ensure that important impacts are not overlooked and benefits are maximized;
- Reduce conflict through the early identification of contentious issues; and
- Improve transparency and accountability of decision-making.
- Identify local relevant stakeholders with whom further dialogue can be continued in subsequent stages of the project.

5.3. Stakeholders Consulted

Stakeholders include individuals or groups that may influence or be impacted by the project. The ESIA conducted key informant interviews and public barazas with various stakeholders and the public with

a view of gathering their concerns on various aspects regarding the proposed project. Some of the different categories of stakeholders that participated in the public consultations include; NAVCDP officers, county and sub-county team, officers from the department of agriculture and livestock at the county, officers from the department of trade, environment as well as public health, Kojonga market committee members, representatives of the traders, area assistant chief & village elders, women representatives, youth representatives, persons living with disability representatives, project neighbours and ward administration representatives among others.

5.4. Methodology

The process of engaging stakeholders was undertaken consultatively and involved the following;

5.4.1. Mobilization

The ESIA study team undertook mapping of the stakeholders to be consulted. Thereafter, in collaboration with the proponent organized consultative meetings with the stakeholders some in their offices and others especially the community members in public barazas. The proponent then facilitated engagement of consultants with the local administration including area chief who then assisted in mobilizing the community members and other stakeholders to attend a public consultation barazas. Other key stakeholders were mobilized through phone and assisted in acquisition of relevant literature which aided the team during the study report compilation.

5.4.2. Field Visits

Field visits were conducted in the study area in October 2024 in order to collect information on the biophysical and socio-economic environment.

5.4.3. Administration of questionnaires

The ESIA team developed structured questionnaires which were administered to key stakeholders to capture their opinions regarding construction of the proposed Kojonga market and its anticipated impacts. The team were assisted by interpreters to fill the questionnaires especially for respondents who did not know how to read. A total of 24 questionnaires were filled during the exercise. Samples of filled in questionnaires are attached in the appendices of this report.

5.4.4. Key Informant Interviews

The team identified and consulted key informants/stakeholders between 24st and 25th October, 2024. The exercise targeted community members, officers from the County Departments of Environment, Agriculture, Water, Livestock, and Social Services among others.

5.4.5. Public Barazas

Two public barazas were held to facilitate effective consultations of the community members and

other stakeholders. Entry baraza was held on 24th October, 2024 which had a total of 28 participants (6M, 11F, 11Y) while an exit baraza was conducted on 21st January, 2025 with 38 participants (29M, 4F, 5Y). During the barazas, stakeholders were informed on the nature of the proposed project and requested to air their views regarding the project. The stakeholders brainstormed on anticipated positive and negative impacts likely to occur during the proposed project implementation. The sessions also assisted in proposing mitigation measures to the negative impacts. The community members expressed enthusiasm with the proposed project and affirmed their support for the project indicating that the project will assist in meeting their objectives of improved livelihoods and promote socio-economic development. The minutes and the attendance lists of the barazas are attached as appendices in this report.

5.5. Public Participation Outcomes

A summary of the views and concerns of the members of the public and stakeholders are provided in the table below;

Table 2; Summary of stakeholders' expectations, concerns and recommendations

Category	Issues raised	Recommendations
Men	The local community be considered for jobs during market construction.	The contractor to consider the local community in jobs during construction
	The existing market management committee is not formally registered thus cannot execute its functions effectively.	County government of Narok through Department of Social services to formally register the committee as a self-help-group. The committee to be formally trained on its role in market operationalization.
	Roads surrounding the market are not in good passable condition as well as those connecting Kojonga centre to Ntulele & other parts of the County.	The county government and KERRA should strive to improve access within Kojonga and nearby towns.
Women	The members were concerned on the consideration of women to effectively benefit from the project once completed.	The proponent will ensure involvement of all gender categories during all project phases.
	There is inadequate source of clean water in Kojonga centre.	The county government and NAVCDP to consider drilling of a borehole or rehabilitating existing natural springs to provide sufficient amount of water for use in the market
Youth	There was concern on how best the existing potato producer cooperative	The project design to include produce aggregation units to serve the producer

	<p>society would benefit from implementation of the proposed project.</p>	<p>cooperative society members to sell their ware potatoes.</p>
	<p>Owing to the gently sloppy nature of the proposed site, members were concerned on the possibility of soil erosion and accumulation of solid wastes.</p>	<p>The project designers to explore possibility of leveling the site and also include soil & water conservation as well as waste management measures.</p>



Figure 7; Public baraza held in Kojonga



Figure 8; Public stakeholder consultation meeting at project site



Figure 9; Discussions on-going during public participation session

5.6. Stakeholder Engagement

Stakeholder engagement will be undertaken continuously in all the project phases. This will include the operational phase where market management committee together with Narok County Government representatives will hold monthly meetings to ensure continued proper functioning of the market. Other stakeholders including brokers/traders, market users, transporters and buyers will be invited for meetings quarterly or as need arises to foster strong public engagement and enhance continued support for the project.

5.7. Grievance Redress Mechanism

NAVCDP will facilitate formation of a grievance sub-committee of 5 members (3 males and 2 female) within the established market management committee members with a focal person (Secretary) to record the grievances and escalate as per the grievance Mechanism Manual. A training shall be provided by NAVCDP on how to record, investigate, escalate, resolve and report on the grievances. The committee will also be charged with the responsibility of monitoring and sensitizing the community members on the grievance mechanism. The Sensitization will entail the manual grievance and web-based grievance mechanisms.

Any grievances that are not sorted at the market committee level will be escalated to the Ward Social Accountability and Integrity Committee (SAIC) with a membership of 3 members (2 Males and

I female). In case the grievance is not resolved at this point, it is escalated to the County level where they will be received by the County Environmental Safeguards Compliance Officer (CESCO).

At the County level, the grievances are managed by the County Grievances Management Committee (CGMC) constituting of 11 members drawn from the CPCU, National and county departments as well as women and VMGs representatives.

However, to reduce conflict through the early identification of contentious issues, there will be continuous community and stakeholder engagement, providing them with clear, timely and accurate information about the progress of the project through the established GM committees at the various levels of administration.

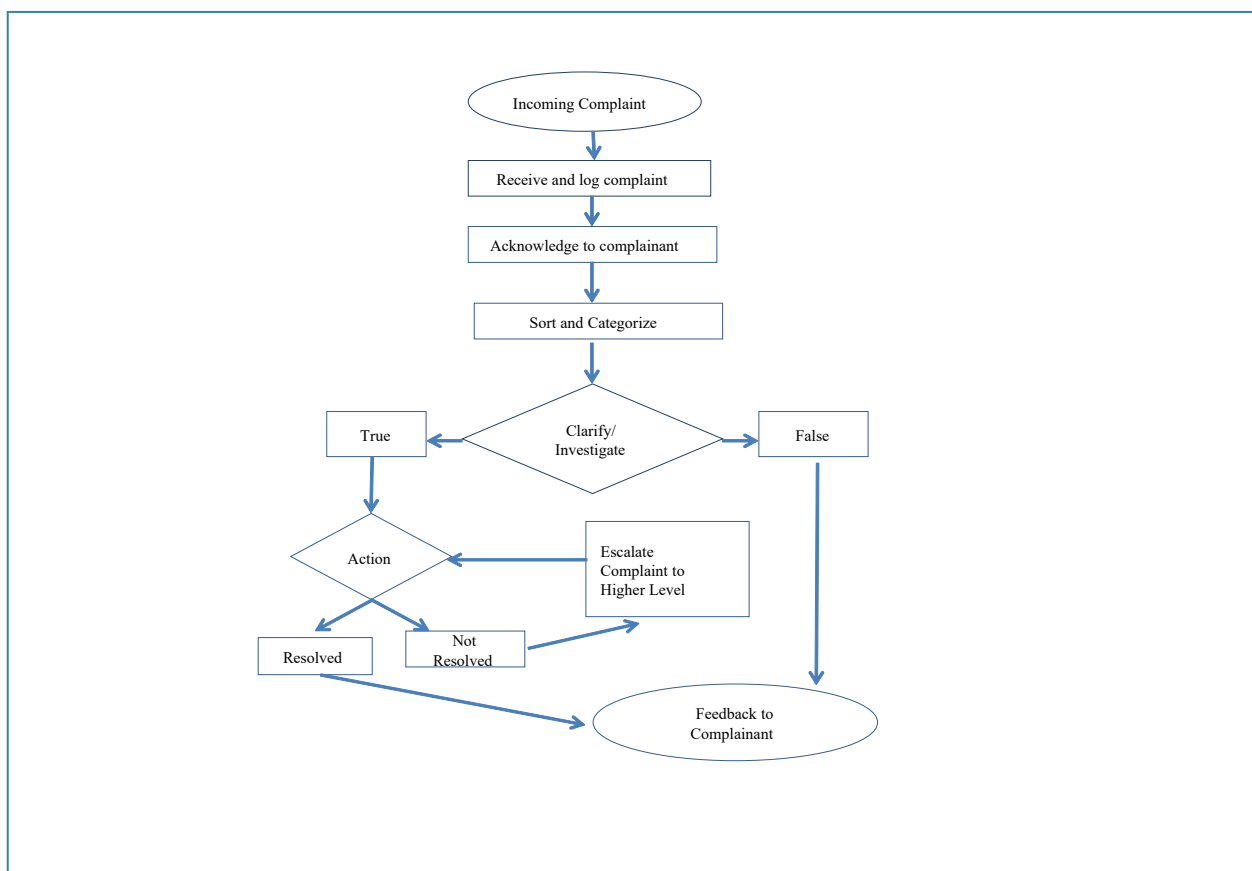


Figure 10: Flow chart of the GRM

CHAPTER SIX: PROJECT ALTERNATIVES

6.1 Analysis of project alternatives

Regulation 18(1) of Legal Notice 101 specifies the basic content of an Environmental Impact Assessment Study / Project Report subsequent to which, subsection (i) requires an analysis of alternatives including project site, design and technologies and reasons for preferring the proposed site. The general principle involved in identifying alternative option(s) to a proposed development is to ensure that the option chosen would result in optimal social, environmental, and capital benefits not only for the developer, but also for the environment and stakeholders in the area. Therefore, this section analyses the Project alternatives in terms of site, technology scale and waste management options.

6.2 Location/site alternative

This option would mean transfer of the proposed development to another site. If this option is selected the proponent is required to look for an alternative site either within or outside the zone. This option may be based on the principles that the proposed development: is found on a land parcel not belonging to the proponent and there is no clear land lease agreement between the proponent and the land owner; is to be sited in a zone planned for other developments; is not compatible with other developments in the area; or is found on land with archaeological features or biodiversity hot spot.

Currently, there is no public land within the proposed site that has been designated for similar purpose. The proposed Kojonga market site belongs to the public and has been designated for establishment of the market. The proposed project site has not been zoned for specific land use thus the project is compatible with other land uses in the area mainly trade and agricultural related.

6.3 The 'No Project' Alternative

The selection of the "No Project" alternative would mean the discontinuation of the proposed project. Thus, the site is retained in its existing form. If this alternative is selected, the site is unlikely to undergo any major changes from its present condition. From an environmental point of view, this looks like the most suitable alternative as there will be no interference with the existing environmental conditions. However, if this option is taken, the farmers, traders and business people around Kojonga and its catchment will continue conducting their business in unsuitable spaces lacking standard market infrastructure and appropriate amenities.

6.4 Alternative Materials, Design, Layout and Technology

The material input and technological design of the proposed Kojonga fresh produce market is based on the need for project sustainability as well as environmental sustainability. The project will be

developed using modern, locally and internationally accepted standards to achieve public health safety, security and environmental requirements.

The sections of the market including walls and floors for stalls will be constructed using steel metal bars and concrete. The other alternative materials that could be used include use of wood poles, timber or iron sheets for the walls. Although expensive, steel metal bars last longer as compared to wood poles. Wooden materials are prone to attack by termites and also contact with prolonged contact with water may weaken the structures thus reduce on its lifetime. The steel poles will be painted to mitigate against rust. Even though it is expensive, concrete last longer compared to iron sheets.

The market will mainly utilize water from harvested rains from the iron roofs of the market shades, and offices. Alternative water will be sourced from nearby streams about 100metres away.

Options for sources of power for use in the market include use of solar powered flood light, fuel-powered generators or biogas to provide light at the facility. Other alternatives are biogas, KPLC grid connection, and generators. Although cheaper in the long run, solar panels are expensive to install. On the other hand, fuel driven generators are also expensive to operate given the rising prices of fuel in Kenya while for biogas, questions may arise concerning the safety especially given the fact that it can easily be contaminated by microorganisms including bacteria, viruses, prions, fungi, yeasts, and associated microbial. Such wastes pose a potential risk to animal and human health, unless handled and treated properly. The proponent will connect power from main power line which is not far from the market site.

6.5 Waste management alternatives

The fresh produce market is likely to generate different types of both solid and liquid waste during its operation. Major waste will include effluent and other solid wastes including used plastic bottles and product packages. Liquid waste will be channelled to a septic tank while solid waste will be segregated and held in appropriate waste collection bins and later transported to county waste disposal site.

6.5.1. Effluent management alternatives

Since the project area is not connected to municipal sewer line, there exist two options for the management of effluent; the first alternative would be to dig a septic tank for collection of the effluent which can be emptied by exhausters when full, the second alternative is to dig pit latrines. Although sustainable than pit latrine, septic tank is expensive to construct. On the other hand, pit latrines have minimal operation cost but can easily get filled up. The proponent of the

proposed project will construct a septic tank to manage effluent. This method is recommended since it is easy to manage through the use of exhausters which will fetch and transport waste to the designated county waste disposal site.

6.5.2. Solid waste management alternatives

Solid waste likely to be generated in the operation of the market will include spoiled farm produce, and other organic and non-organic materials. The management options include: incineration, recycling, disposal in designated bins for collection and disposal to designated garbage disposal site. For this project, recycling of non-hazardous materials like plastics and metals used in the market will be encouraged. Waste bins will be provided by the Narok County Government for waste collection; the waste will be collected on regular basis for disposal to the county garbage disposal sites.

CHAPTER SEVEN: ANALYSIS OF PROJECT IMPACTS

7.1. Introduction

The environmental baseline information collected and the project description discussed form the basis for impact identification and evaluation. Every project that is commissioned to help in enhancing development by law needs to be analyzed to ensure the negative effects that may result from project implementation do not outweigh the positive impacts expected. This chapter will discuss the anticipated impacts likely to occur during the construction, operational and decommissioning phases of the proposed construction of Kojonga fresh produce market and it will give adequate mitigation measures to curb identified negative impacts.

7.2. Anticipated Impacts and Mitigation Measures during Construction Phase

7.2.1. Positive Impacts during Construction phase

a) Creation of Employment Opportunities

During the construction phase, the project will create short-term direct and indirect job opportunities. The direct beneficiaries will be the casual workers and semi-skilled labourers who will do the construction work. The indirect beneficiaries will be those selling food and other services to those constructing the market. During the operational phase, long-term employment opportunities will also be created which will generate income and improve the livelihoods of farmers, traders and their dependants.

Proposed enhancement measures

- There should be no sourcing of unskilled or semi-skilled labour force from outside the project area.
- Local youths, both male and female and local women who form the bulk of local labour force to be given utmost priority when sourcing labour force during project construction as well as operation phase.

b) Support of existing local businesses

Local businesses are likely to benefit from improved purchasing power of people in the area as a result of their remuneration. There is likelihood that there will be more money in the pockets of people who are directly or indirectly employed in the market and related value chains and that part of the money will be spent in the local economy hence benefit local businesses.

Proposed enhancement measures

- Local business community to position themselves strategically to be able to benefit from increased market for their goods and services.

c) Increased revenue to county and national government

The project will contribute to the county and national government kitty. The contractor will pay Value Added Tax (V.A.T) for the construction service and on purchase of construction materials for the project. With the creation of employment and business opportunities, taxes will be remitted to the exchequer from the purchase of materials and other consumables, and payment for services offered by various parties in the construction process.

d) Increased household incomes

The market will provide adequate space and market for farm produce for the farmers in the project area. The project will facilitate bulking and collective marketing of the produce thus increase farmers' bargaining power and consequently increased incomes from better prices for the farm produce.

7.2.2. Negative Impacts during Construction phase

7.2.2.1. Negative Impacts on Bio-physical Environment

a) Solid Waste Accumulation

Solid wastes that will be generated from the construction works include metals, timber, plastics, papers, stones, soil and organic matter. Such waste will consist of metal cuttings, timber, plastics, papers, stones, rejected materials, surplus materials, excavated materials, empty cartons, empty paint and solvent containers, broken glass among others.

If poorly managed, the solid wastes can obstruct water bodies, block drainage systems and affect human and animal health. This may be accentuated by the fact that some of the waste materials including metal cuttings and plastic containers are not biodegradable and can have long term and cumulative effects on environment.

To mitigate this impact, the contractor shall ensure the following.

- Procure and deliver only the right amount of materials at a time
- Provide waste holding facilities such as litterbins and a temporary dumping site for organic waste.
- Stones and soil should be used for land filling, backfilling, re-used, or re-cycled.
- Plastics, metals and paper, shall be handled in separate bins for collection by a NEMA licensed waste collector for safe off-site disposal.

The site personnel are encouraged to adhere to environmental health and safety policies in place to minimize littering and generation of other forms of waste.

b) Traffic related Risks

There will be heightened traffic during construction phase as a result of increase in movement of vehicles transporting materials to the project site. This may lead to accidents and also increase in dust which may affect the health of workers in the site.

Mitigation Measures

- Installation of warning signs
- Training of first aid providers
- Developing an emergency response and preparedness strategy
- Provision of PPEs to the workers
- Adherence to traffic rules

c) Liquid Waste

Liquid waste will be generated from sanitary facilities used by workers during construction period may lead to deterioration of surface and groundwater. This may be exacerbated by poor drainage and waste management system. Managing human waste in the site will be crucial for maintaining hygiene, preventing the spread of diseases, and ensuring the comfort and safety of workers. This can be mitigated through the following measures;

- To manage the faecal matter, the contractor will provide temporary pit latrines/mobile toilets.
- The contractor will also ensure appropriate disposal of faecal matter to avoid open defecation.
- The contractor shall ensure sanitary facilities are cleaned every day.
- Pit latrines to be dislodged in case they near filling up

d) Chance finds during excavation

Excavation activities may result in discovery of physical cultural resource, such as (but not limited to) archaeological sites, historical sites, remains and objects, or a cemetery and/or individual graves.

Mitigation Measures

In case of any chance finds, the proponent will immediately initiate Chance find procedure as indicated in Appendix VI of this report.

e) Insecurity and safety at the project site

Security and safety are prerequisite for any development. During construction, security is very important on the site. This will ensure that materials are in order and minimal cases of material loss are reported on the site. It would also control movement within the site especially for the intruders who might be injured by the materials or project works within the site. The project site will have a contractor's yard with a store for storage of the equipment before they are assembled. These materials are expensive in if strategic security plan is not in place, they are likely to be stolen. During construction phase, security of the site will be maintained to ensure only those authorized are allowed into the site.

Mitigation Measures

- Fence the construction site to ensure no intruders access the site.
- Security guards will always guard the gate to the site to keep away intruders and to control movement within the site.

- Lighting will be installed in strategic positions all over the site during construction and after the completion of the project.
- The guards stationed at the gate will document movements in and out of the site.

f) Air Pollution

During construction, the project will generate substantial quantities of dust at the construction site. The sources of dust emissions will include excavation and leveling works, and to a small extent, transport vehicles delivering building materials. Emission of large quantities of dust may have significant impacts on the health of construction workers and the residents neighboring the site. These emissions will be limited in extent since the project is a small scale in nature.

Mitigation

- Visually monitor dust generation from work zones to reduce the impact to the neighbouring community and to sprinkle work areas with water to suppress dusty sections.
- Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least two feet of freeboard.
- Spray water regularly on the ground to minimize air pollution
- Maintenance of equipment and machinery to manufacturers' specifications by regular servicing to maintain efficiency in combustion and reduce carbon emissions;
- Use environmentally friendly fuels such as low Sulphur diesel;
- Minimize idling of machinery;
- Provision of appropriate Personnel Protective Equipment such as dust masks to site workers

g) Noise and Vibrations

The use of machinery and equipment like generators, metal grinders and concrete mixers will contribute to high levels of noise and vibration within the construction sites. Noise and vibrations generated at the site can affect project workers, passers-by and the residents within the vicinity of the project site.

The contractor shall employ the following noise suppression techniques in order to minimize the impact of temporary construction noise at the project site: -

- Use equipment designed with noise control elements such as the 'Silencers',
- All the machinery and equipment must be monitored and maintained in good working condition.
- All workers/personnel at the project site must be provided with ear muffs
- Limit working hours from 8.00 am to 5.00 pm to avoid disturbance during resting hours.

- Sensitization of truck drivers to switch off vehicle engines while offloading materials and to avoid unnecessary gunning of vehicle engines or hooting.

h) Increased Soil Erosion

Construction activities that involve excavation and vegetation clearing, will likely increase soil erosion in the project area through exposure of the sections to allow putting up of the structures especially the market shades and offices. This significance of this impact is very minimal since the area to be excavated is not big.

Mitigation

The proponent to ensure minimal soil disturbance with conservation measures in susceptible sections.

i) Increased water demand

The proposed project site will require supply of water for construction work. Water will mainly be used for concrete mixing, curing, dust management, drinking, sanitary and washing purposes. The proposed development may cause some strain to the existing water supply since construction activities are known to be heavy water consumers and the increase in population proportionately increases water demand thus direct impact to the water supply.

Mitigation measures

- a) Optimize water use and monitor consumption during construction.
- b) Install construction water storage facilities at the site such as temporary storage tanks fixed with automatic taps, and water hose pipes.
- c) Sensitize workers on water conservation techniques
- d) On environmental degradation-
 - Formation of Burrow pits at the Quarry
 - Possible spillage of construction materials during transportation

7.2.2.2. Negative Impacts on Social Economic Environment

a) Increased incidences of HIV/AIDS and STIs

The influx of workers may bring HIV/AIDS and Sexually Transmitted Infections (STIs) into the project area. The upsurge of these diseases would result into overburden on the local health resources. Local health facilities may also be overwhelmed and/or ill equipped to handle increased cases of these diseases.

Proposed mitigation measures;

- The proponent/contractor shall institute and implement HIV/AIDS and other communicable diseases Awareness Program including sensitization/trainings for workers as part of the Contractor's Health and Safety Management Plan
- Restrict access to contractor's workforce camp by outsiders.
- Identify other players (local CBOs, NGOs, and government organizations) on HIV/AIDS for enhanced collaboration.
- Review the construction activities to integrate with HIV/AIDS Campaigns.
- Develop appropriate training and awareness materials for information, education and communication on HIV/AIDS.

b) Conflicts/Grievances

Common grievances expected to arise during the proposed project construction include: grievances from those not considered for the construction work at the site; grievances as a result of negative project impacts which may include physical harm and nuisance from construction activities; health and safety risks; socially unacceptable staff relations with the communities and other stakeholders; conflicts over shared resources such as water and facilities such as public latrines and access roads.

Mitigation measures:

- Local community members be given priority in employment opportunities, in casual and unskilled labour.
- The proponent and contractor shall adhere to national labour code during recruitment of labour.
- The contractor should put in place a pre-emptive community liaison structure aimed at identifying potential issues arising from project-related impacts and addressing them before they become grievances.

c) Gender Based Violence/Sexual Harassment and Abuse

This impact is likely to be triggered during project construction phase through the relationships between the construction workers and the local community, particularly young women and girls. There is also a likelihood of GBV among the workers themselves.

Mitigation Measures

The contractor will implement provisions that ensure that gender-based violence at the work place and community level is not triggered by the project, including effective and regular workers and community level engagement and consultation (particularly with women and girls).

- The contractor shall develop specific plan for mitigating known GBV risks, e.g. sensitization around gender-equitable approaches to employment.

- The contractor will ensure adequate referral mechanisms are in place in case GBV at the work place and community level is related to project construction.
- Develop a Code of Conduct with specific provisions on protection from sexual exploitation and abuse and ensure employees, sub-contractors, sub-consultants, and any personnel thereof engaged in construction works to individually sign and comply with it.
- Establish an appropriate GRM to monitor and address SH and GBV in collaboration with the set legal systems and health workers within the locality.

d) Child and forced labor

This risk relates to engagement of children in exploitative labour at the project site against set laws prohibiting the same. It may also include coercing children to work in the construction sites.

Mitigation measures include;

- Ensure the project contract shall have contractual provisions to comply with the national minimum age requirements including penalties for non-compliance in line with the relevant national laws.
- Ensuring the contractor and suppliers are aware of and adhere to the labour laws and employment regulations.
- Collaborate with the local community leadership to ensure monitoring of implementation of the project works to ensure avoidance of employing children at the site and sensitizing the community about the dangers of child labor and the importance of education.
- Establish accessible and confidential grievance mechanisms for workers to report any concerns about child or forced labor without fear of retaliation.

e) Risk of exclusion from opportunities

This refers to incidences where the some of the members in the community or vulnerable & marginalized groups are discriminated or excluded from employment and other beneficial opportunities during the project period. To mitigate these, the following measures shall be undertaken;

- The employment of project workers will be based on the principle of equal opportunity and fair treatment.
- Ensuring that there is no discrimination with respect to any aspects of the employment relationship, such as recruitment and hiring, terms of employment (including wages and benefits), termination and access to training.

f) Risk of influx of workers

The project construction phase is expected to attract influx of workers in search of labour. A big number of skilled and unskilled labour including machines operators, welders, casual laborers etc will come from within and outside the project location. This has the potential to cause conflicts due to competition for labour.

The proposed mitigation measures in this case are:-

- Local community members will be given priority in employment opportunities, in casual and unskilled labour.
- The proponent and contractor shall adhere to national labour code during recruitment of labour.

g) Workers grievance management

Common grievances expected to arise during the proposed project construction may include: grievances from those how the workers are handled or supervised and remunerated during construction works at the site; grievances as a result of negative project impacts which may include physical harm and nuisance from construction activities; health and safety risks; socially unacceptable among the workers or with the communities and other stakeholders.

Mitigation measures

- The contractor shall put in place a pre-emptive workers/community liaison structure aimed at identifying potential issues arising from project-related impacts and addressing them before they become grievances.
- Adherence to set standards for handling workers at the workplace guided by enacted labour laws.
- Establish a clear and accessible complaint handling procedure. Ensure that affected persons know how to submit complaints and what to expect in terms of response and resolution timelines.
- Define clear escalation procedures for handling grievances that cannot be resolved at the project site. This may entail involving higher authorities or regulatory agencies

h) Occupational Health and Safety Concerns

There will be occupational health and safety hazards arising from noise, dust, machinery, manual handling of materials, working at height and other hazards. Because of the intensive engineering and construction activities such as erection and fastening of roofing materials, metal grinding and cutting, and welding among others, it is expected that the construction workers will be exposed to risks of accidents and injuries. Such injuries can result from accidental falls from high elevations, injuries from

hand tools and construction equipment cuts from sharp edges of metal sheets and collapse of building sections among others.

To mitigate these, the Proponent/contractor shall:

- Ensure all equipment are inspected before use for appropriate safeguards.
- Ensure controlled working hours and that employees do not extend working hours unnecessarily.
- The proponent to employ services of qualified and competent workers in certain hazardous work environments such as digging latrine and welding metal works.
- Personnel at construction site to be provided with and wear appropriate PPEs at all times.
- Sensitize the workers on safe use of the tools, equipment and machines.
- Ensure that the workers have basic training on first aid skills and firefighting.
- Erect warning signs appropriately within and around the construction site. Refer serious injuries to the nearest hospital.

7.3. Anticipated Impacts and Mitigation Measures during Operation phase

7.3.1. Positive impacts during Operation phase

a) Employment opportunities

The proposed project will provide employment opportunities directly at the market and indirectly at the household level as result of increased productivity and opened market for farm produce. Trade across the crops value chains will be enhanced and more actors will be engaged in the business activities undertaken in the market.

b) Improved and reliable Fresh Produce market

Completion and operationalization of well-developed structures in Kojonga market will create a favourable environment for selling and buying of fresh crop produce. More traders and farmers will be encouraged to take their produce for sale in the market due to good working environment.

Proposed enhancement measures

- The project proponent and market management committee should ensure regular maintenance of the facilities at the market.

c) Reduced exploitation of farmers by middlemen

Commissioning of Kojonga market will encourage farmers to trade their produce in the market thus reduce incidences of side selling which in most cases leads to exploitation of farmers by middlemen. The project will therefore lead to improved market prices of crop produce.

Proposed enhancement measures

- The proponent should develop an operational policy that does not discriminate any person as far as allocation of trading space in the yards is concerned. The policy should outline clear terms of operation of the market.

d) Improved Government revenue

Increased commercial activities as a result of Kojonga market operations will increase the tax collection to the County Government and thus increase the country's ability to offer better services to her people.

e) Improved economic development

The implementation of the proposed project activities will positively influence other existing and mushrooming commercial activities, and engage a number of professionals in the area. These will lead to accelerated development

7.3.2. Negative Impacts during Operation phase

7.3.2.1. Negative Impacts on Biophysical Environment

a) Water quality degradation

Deterioration of surface and groundwater may arise due to improper management of solid wastes. The main sources of wastes in the area may emanate from oils spills from motor vehicles and other types of machinery, wastewater and soil erosion. If not managed properly, this can lead to contamination of nearby water bodies with nutrients, pathogens, and chemicals, causing water pollution and harm to aquatic ecosystems.

Mitigation measures

- The proponent shall practice proper waste management through solid waste separation and provision of litter -bins and dumping sites.
- To manage the faecal matter, the proponent will provide toilet facilities with adequate water.
- Properly plan and design the market layout to minimize the risk of runoff into nearby water bodies. The design should incorporate proper drainage systems, such as ditches, berms, and sediment basins, to capture and treat runoff.

b) Excessive use of water

Substantial amounts of water will be used in the market for cleaning and drinking among other uses. Managing excessive water use in the market will be crucial for environmental sustainability, cost savings, and ensuring a reliable water supply.

Mitigation measures

- Install water meters to accurately measure water consumption within the market. Regularly monitor water usage to identify trends and potential areas of excessive consumption.
- Ensure that water infrastructure, including pipes, faucets/taps are well-maintained and free of leaks.
- Replace old or inefficient equipment with water-efficient alternatives.
- Install rainwater harvesting systems to capture and store rainwater for non-potable uses.

c) Effluent from sanitary facilities

Managing human waste in the market will be crucial for maintaining hygiene, preventing the spread of diseases, and ensuring the comfort and safety of the traders.

Mitigation measures

- The market will be served by toilets to serve all gender categories
- Cleanliness should always be maintained at the sanitary facility and it should be well-lit, and equipped with hand washing facilities.
- Provide information on the location of the latrines.
- The latrine should be allocated and labelled differently for male and female.
- Educate latrine users about proper hygiene practices, including hand washing with soap after using the latrine.
- Ensure the safety of persons living with disabilities and elderly users by installing handrails or steps where necessary.

d) Other Solid wastes

During operations in the market, considerable amounts of both biodegradable and non-biodegradable solid waste are anticipated. The main solid waste anticipated from the operation of such a facility will include: packaging papers, used plastics, metallic and glass cans, food remains, organic wastes and other packaging materials. If not well managed, such wastes can harm the ecosystem by clogging drainage systems and suffocating water sources.

Mitigation measures

- The proponent will provide waste collection cubicles on site i.e., separate receptacles for paper, food and produce waste versus other non-recyclable waste. As part of the market

regulations, all market users shall be required to separate solid waste into recyclable and non-recyclable waste before disposal.

- The Narok County administration will make sure that waste is regularly collected and disposed of in designated county garbage locations.
- Arrange for proper disposal of any hazardous materials by following local regulations and guidelines for waste disposal.
- Waste burning at the site will not be allowed.

e) Soil Erosion

The building roofs and pavements will lead to increased volume and velocity of storm water or runoff flowing across the area covered by the development including the roads surrounding the project. This will lead to increased storm water entering the drainage systems, resulting in overflow and damage to such systems in addition to increased erosion or water logging in the neighboring areas.

Mitigation measures

- The proponent to land scape the project area to reduce the soil loss through increased storm water.
- Soil management measures such as terracing should be observed at the site
- Re-vegetation of the surrounding area to assist in holding of soil. This will reduce the amount of top soil erosion.
- Use of the roof gutters and directing water to soak pits?

f) Air quality concern

Although on a smaller scale, waste resulting from spoilt farm produce if not disposed of appropriately can produce odors can be a nuisance for nearby residents and businesses or even contribute to air quality problems.

Mitigation measures

- Design and maintain waste management systems to collect and store waste, reducing odors and airborne pollutants.
- Implement green infrastructure elements such as vegetation and trees to act as natural air filters and improve air quality.
- Design proper ventilation systems in enclosures at the market to reduce indoor air pollution.

g) Traffic Congestion

The operation of the fresh produce market will have a possibility of attracting a significant number of vehicles and people leading to traffic congestion and wear and tear on local infrastructure as well as conflict with other traders and residents. Regular communication and cooperation among all stakeholders will be crucial for successful traffic congestion management in the market and within Kojonga centre.

Mitigation measures

- a) The proponent should ensure that the market has a well-planned layout with designated areas for parking, loading and offloading.
- b) Assign specific entry and exit points for vehicles.
- c) Schedule and coordinate the arrival and departure of trucks to minimize congestion during peak times.
- d) Educate traders and farmers about traffic rules and regulations.

7.3.2.2. Negative Impacts on Socio-Economic Environment

a) Occupational Health and Safety Concerns

During the operation phase, the personnel will use various tools, equipment, appliances and machines. These, if not properly handled can be a source of injuries. Managing occupational safety and health (OSH) concerns in the livestock market will be crucial in ensuring the well-being of workers, customers, and the community.

Mitigation measures;

- The proponent shall display appropriate signage to warn and inform all workers and the clients on safety measures.
- Any injuries that occur shall be referred to the nearest medical facility.
- Ensure that market workers have access to and use appropriate PPE, such as gloves, boots, goggles, and masks, to protect against injuries and exposure to hazards.
- Develop and communicate an emergency response plan that covers accidents, injuries, and disease outbreaks; ensure that market workers are trained in emergency response procedures.
- Conduct regular health check-ups and screenings for market workers
- Schedule regular safety inspections and audits to identify and address hazards promptly. Involve market workers in reporting safety concerns and incidents.

- Ensure compliance with the national OSHA regulations and standards, stay informed about any changes in regulations and adapt policies and procedures accordingly.

b) Insecurity and theft incidences

The proposed project will increase the level of activities taking place and consequently increase business transactions which may encourage insecurity incidences and theft cases in the project site.

To mitigate the above, the proponent shall:

- Install security systems including CCTV at strategic points in the facility
- Hire security personnel from a reputable security firm to guard the facility
- Liaise closely with the county security agencies

c) Accidental and fire incidences

Fire incidences may occur from faults in electricity wiring systems and open fires.

To mitigate this, the proponent shall:

- Engage a qualified firm to undertake wiring works of the facility
- Have in place firefighting apparatus (fire extinguishers, sand buckets, hose reels, fire blankets)
- All fire extinguishers must be serviced annually
- Train strategic security staff on fire management
- Conduct Environmental and Social audits annually

d) Increase in social evils

Due to heightened trading activities in the market, there will be increased circulation of money in the centre which may result in increased indulgence of people in practices such as alcohol and drug abuse.

To mitigate this, the proponent and market committee shall conduct regular sensitization and trainings against drug abuse & use of alcohol.

e) Conflicts and grievances

The operations of the market once commissioned has a potential of leading to conflicts between the market operators, traders and nearby residents due to issues like odor, noise, allocation of space and traffic congestion among others. Other conflicts can as well occur due to disagreements between permit officers and traders.

Mitigation measures

- a) The County Government of Narok in collaboration with market management committee and other stakeholders should develop and communicate clear rules and regulations for the fresh produce market. These rules should cover among others security protocol, market space allocation and behavior expectations for participants. All market participants should be

informed of the rules and have easy access to them.

- b) Establish a clear and accessible complaint handling procedure. Ensure that participants know how to submit complaints and what to expect in terms of response and resolution timelines.
- c) Designate a neutral mediator or conflict resolution team to address disputes promptly. This team should be trained in conflict resolution techniques and they should be persons of good moral standing in society.
- d) Maintain thorough records of all transactions and interactions within the market. This includes sales, purchases, inspections, and complaints. Proper record-keeping can help resolve disputes by providing evidence when needed.
- e) Ensure that the market operations comply with all relevant county and national regulations related to trading and market operations.
- f) Define clear escalation procedures for handling disputes that cannot be resolved at the market level. This may entail involving higher authorities or regulatory agencies.

f) Gender based violence and sexual harassment (GBV/ SH)

Managing gender-based violence (GBV) and sexual harassment in the market will be crucial in ensuring the safety and well-being of all individuals involved in the market, including buyers, sellers, and workers.

Mitigation measures

- a) Promote gender equality within the market by encouraging the participation of women in decision-making processes and ensuring equal opportunities for all genders.
- b) Develop and communicate a comprehensive policy against gender-based violence and sexual harassment in the market. Ensure that this policy is prominently displayed and readily accessible to all stakeholders.
- c) Organize regular sensitization forum for all market participants, including sellers, buyers, and staff, on what constitutes GBV and sexual harassment, how to prevent it, and how to report incidents. Make sure everyone understands the zero-tolerance approach. This can be done through partnering with non-governmental organizations (NGOs), government agencies and advocacy groups working on gender equality and GBV prevention.
- d) Set up clear and confidential reporting mechanisms for individuals who experience or witness GBV or sexual harassment. This could include anonymous reporting options to protect victims' identities.
- e) Involve the local community and leaders in raising awareness about GBV and sexual harassment and promoting a culture of respect and gender equality.

g) Risk of Increased incidences of HIV/ AIDS and STIs

Once operational, Kojonga market will attract large number of traders drawn from different parts of the country including Nakuru, Nairobi, Narok, and Kiambu among others. Most of these traders spend their evenings in local lodgings awaiting to transact business at the market. The interaction between the traders and locals poses a risk of spread of HIV and related STIs.

Mitigation measures

- a) Conduct regular HIV/AIDS and STIs awareness campaigns among the market community to educate workers, community members and visitors about the virus, its transmission modes, and prevention methods.
- b) Make condoms readily available through condom dispensers within the market and guest houses around the market for those who are sexually active. Encourage their use to reduce the risk of sexual transmission diseases.
- c) Collaborate with local healthcare providers to offer healthcare services, including HIV testing, counselling, and access to antiretroviral therapy (ART), to those in need.
- d) Create an environment of non-discrimination and acceptance to encourage individuals to seek HIV testing and care without fear of social stigma.

h) Human health concern

The close proximity of people interacting in the market can increase the risk of disease transmission among humans mainly communicable diseases.

Mitigation measures

- Require visitors and workers to wear appropriate protective clothing (e.g., boots, coveralls, gloves) and disinfect their footwear when entering and exiting the market.
- Educate market workers, farmers and vendors about communicable diseases and the importance of proper hygiene.
- Conduct regular disease surveillance in humans to detect potential outbreaks early.
- Develop a comprehensive emergency response plan in case of disease outbreaks or other health emergencies and coordinate with local public health authorities for a rapid response.

7.4. Potential Impacts and mitigation measures during Decommissioning phase

It is expected that the proposed development will be used for many years to come. However, in the future, the possibility of decommissioning the fresh produce market and related infrastructure cannot be ruled out. The decommissioning of the market will entail closing down, ceasing operations at the facility or demolition of existing infrastructure. There are various reasons why the market might be decommissioned, some of the reasons include: declining business, changes in regulations, public health

concerns, or the desire to repurpose the land or facility for other purposes. Decommissioning such like project is likely to result into socio-economic impacts such as job losses, decline in households' income and insecurity.

Mitigation measures

- a) A comprehensive environmental and social decommissioning audit will be done prior to the project closure or change of use.
- b) Key stakeholders, including crop producers, buyers, market operators, local authorities, and relevant government agencies should be engaged throughout the decommissioning process.
- c) Facilitate access to information about alternative markets or distribution channels to ensure that producers can continue to sell their crop produce.
- d) If the site has environmental concerns, conduct environmental assessments and take necessary actions, such as soil remediation or habitat restoration, in compliance with EMCA 1999 (revised 2015) regulations.
- e) Recognize that crop producers and traders may face disruptions in their livelihoods due to the market closure thus the proponent can explore options for providing financial support, grants, or low-interest loans to affected individuals or businesses, especially those reliant on the market for them to diversify in other economic opportunities in the region.
- f) Identify potential job losses resulting from the decommissioning process, such as market staff or support services and develop job transition programs or provide training opportunities for affected individuals to acquire new skills or find employment in other sectors.
- g) In case of demolition, the proponent shall undertake rehabilitation & beautification of the landscape and recovered materials such as metals, bricks, stones and pipes shall have alternative use for construction and fabrication.

By taking a proactive and community-centred approach, the socio-economic impacts of decommissioning a market can be managed more effectively, and strategies can be put in place to help affected individuals and businesses transition to new opportunities.

CHAPTER EIGHT: ENVIRONMENTAL AND SOCIAL MANAGEMENT AND PLAN (ESMP)

8.1. Introduction

Environmental and Social Management and Monitoring Plan (ESMMP) for development projects usually provide a logical framework within which identified negative environmental and social impacts shall be mitigated and monitored. In addition, the ESMMP assigns responsibilities of actions to various actors and provides a timeframe within which mitigation measures and monitoring will be done.

The mitigation measures to minimize negative impacts associated with the development and operationalization of the Kojonga fresh produce market are outlined in the ESMMP below.

8.2. Environmental, Social Management and Monitoring Plan during Planning and Design

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (KSHS.)
Loss of biodiversity,	Minimal necessary removal of vegetation and re-vegetation of affected areas	-Contractor -Proponent	During site preparation	Area in acres re-vegetated with trees and grass	CESCO, County Infrastructure Officer (CIO)	50,000
Noise & air pollution	Covering material on transit Ensure all motor vehicles transporting materials/equipment are well serviced	Contractor Drivers	During transportation & stockpiling of materials/equipment	No. of complaints recorded against noise pollution Frequency of machine/vehicle servicing	County Environmental & Safeguards Officer (CESCO), Market Management committee	10,000
Accidents or injuries due to sharp or falling objects	Adherence to traffic rules and road safety measures, Awareness creation on potential sources of injuries Installation of warning signs- (DANGER/HATARI)	Contractor, Resident Engineer Drivers Proponent Market Management committee	During transportation of materials/equipment	No. of accidents and complaints recorded Number of warning signs in place Number of PPEs provided and in use Number of	CESCO, ESIA team	80,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (KSHS.)
	<p>Training of first aid providers</p> <p>Developing an emergency response and preparedness strategy</p>			<p>first providers trained</p> <p>Emergency preparedness response strategy in place</p>		

8.3. Environmental, Social Management and Monitoring Plan: Construction Phase

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
Accumulation of solid wastes	<p>Segregate wastes & provide labelled waste bins.</p> <p>Transportation of wastes by licensed waste handlers to recommended sites</p> <p>Procure and deliver only the right amount of materials at a time</p> <p>Provide a temporary dumping site for organic waste.</p> <p>Stones and soil should be used for land filling, backfilling, re-used, or re-cycled.</p>	<p>Contractor</p> <p>Resident engineer</p> <p>Proponent</p>	Construction period	<p>No of Solid wastes bins provided, labelled and in use</p> <p>Record of quantity of wastes disposed of</p> <p>Record of materials and schedule of delivery</p> <p>Temporary dumping site for organic waste</p> <p>Size of area backfilled or quantity of stones/soils re-used/recycled</p>	<p>CESCO</p> <p>CIO, ESIA team</p>	20,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
Increased water demand	<p>Optimize water use and monitor consumption during construction.</p> <p>Install construction water storage facilities at the site such as temporary storage tanks fixed with automatic taps, and water hose pipes.</p> <p>Sensitize workers on water conservation techniques</p>	Contractor & Supervising Eng.	Throughout construction period	<p>Record of quantities of water used</p> <p>No of water storage facilities installed</p> <p>Quantity of water stored</p> <p>No of workers sensitized on water conservation</p>	CESCO, ESIA team	50,000
Soil erosion during excavation works	<p>Backfilling and landscaping of excavated areas</p> <p>Minimal soil disturbance with conservation</p>	Contractor Resident engineer Proponent	Construction period	<p>Area in acreage backfilled and landscaped</p> <p>No of soil conservation measures put in place</p>	CESCO, CIO, ESIA team	80,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	measures in susceptible sections.					
Injuries due to sharp/ falling objects	<p>Awareness creation on potential sources of injuries, Provision of PPEs</p> <p>Sensitize workers on safe use of the tools & equipment</p> <p>Erect warning signs appropriately within and around the construction site</p> <p>Put in place safety measures</p>	<p>Contractor</p> <p>Resident engineer</p> <p>ESIA team</p>	Construction period	<p>Number of awareness creation sessions</p> <p>Number of PPEs provided</p> <p>Number of warning signs in place</p> <p>Number of accidents/injuries recorded</p>	CESCO, ESIA team	50,000
Traffic related Risks	<p>Installation of warning signs</p> <p>Training of first aid providers & provision of kits</p>	<p>Contractor</p> <p>Resident engineer</p> <p>Proponent</p>	Construction period	Warning signs in place	CESCO, ESIA team	50,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	<p>Developing an emergency response and preparedness strategy</p> <p>Provision of PPEs to the workers</p> <p>Adherence to traffic rules</p>			<p>No of personnel trained on first aid and kits provided</p> <p>Emergency Response strategy in place</p> <p>No. of workers provided with PPEs</p>		
Liquid Waste	<p>To manage the faecal matter, the contractor will provide temporary pit latrines/mobile toilets.</p> <p>The contractor will also ensure appropriate disposal of faecal matter to avoid open defecation.</p> <p>The contractor shall ensure sanitary</p>	<p>Contractor</p> <p>Resident engineer</p> <p>Proponent</p>	Construction period	<p>Pit latrines or mobile toilets provided</p> <p>No of monitoring visits undertaken</p> <p>Cleaning records provided</p> <p>Record of dislodging of latrines</p>	<p>CESCO,</p> <p>Ward/Sub county Public Health officers</p>	40,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	<p>facilities are cleaned every day.</p> <p>Pit latrines to be dislodged in case they near filling up</p>					
Insecurity and safety at the project site	<p>Fence the construction site to ensure no intruders access the site.</p> <p>Security guards will always guard the gate to the site to keep away intruders and to control movement within the site.</p> <p>Lighting will be installed in strategic positions all over the site during construction and after</p>	<p>Contractor</p> <p>Resident engineer</p> <p>Proponent</p>	Construction period	<p>Temporary fence erected</p> <p>Security guard duty roster in place</p> <p>Operational Security lights in place</p> <p>Documented record of movements in & out of the market</p>	CESCO	20,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	<p>the completion of the project.</p> <p>The guards stationed at the gate will document movements in and out of the site.</p>					
Air pollution due to increased dust emissions during excavation works	<p>Provision of PPEs to the workers such as dust masks</p> <p>Sprinkle work areas with water to suppress dusty sections.</p> <p>Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least two feet of freeboard.</p> <p>Maintenance of equipment and</p>	Contractor Resident engineer	Construction period	<p>Number of PPEs provided</p> <p>Dusty work areas sprinkled with water</p> <p>No of trucks covered & at least two feet of freeboard maintained</p> <p>Record of equipment & machinery serviced</p>	CESCO ESIA team	40,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	<p>machinery by regular servicing</p> <p>Use environmentally friendly fuels such as low Sulphur diesel;</p> <p>Minimize idling of machinery</p>					
Noise Pollution	<p>Use equipment designed with noise control elements such as the 'Silencers',</p> <p>Monitor and maintain all the machinery and equipment in good working condition.</p> <p>Provide all workers/personnel at the project site with ear muffs</p>	<p>Contractor</p> <p>Resident engineer</p> <p>Market committee</p>	Construction period	<p>No of equipment fixed with silencers</p> <p>Record of maintenance of equipment & machinery</p> <p>No of workers provided with ear muffs</p> <p>Staff daily register or roster</p>	<p>CESCO</p> <p>ESIA team</p>	40,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	Limit working hours from 8.00 am to 5.00 pm					
Accidents at the construction site	<p>Ensure all equipment are inspected before use for appropriate safeguards.</p> <p>Ensure controlled working hours</p> <p>Employ qualified and competent workers in certain hazardous work environments</p> <p>Personnel at construction site to be provided with and wear appropriate PPEs at all times.</p> <p>Sensitize the workers on safe use of the</p>	<p>Contractor</p> <p>Resident engineer</p> <p>Proponent</p>	Construction period	<p>Record of inspections of equipment</p> <p>Daily workers' logs</p> <p>No of trained personnel to handle hazardous duties</p> <p>No of PPEs bought & record of issuance</p> <p>No of sensitization sessions on safe use of tools held</p> <p>No of trainings held on first aid & fire safety</p> <p>Warning signs in place</p>	<p>CESCO</p> <p>ESIA team</p>	80,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	<p>tools, equipment and machines.</p> <p>Train workers have basic training on first aid skills and firefighting.</p> <p>Erect warning signs within the construction site.</p> <p>Refer serious injuries to the nearest hospital.</p>			Record of patient referrals made		
Chance find incidents	Undertake appropriate documented Chance Find Procedures as outlined in Appendix VII of this report	<p>CESCO</p> <p>Proponent</p> <p>Contractor</p> <p>Market Management Committee</p>	During the construction period	Documented adequate implementation of the procedures	CESCO, CSGMO,	50,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
Unresolved Conflicts or grievances	<p>Developing fair and well organized criteria for engaging community for labor</p> <p>Establish a Grievance Redress Mechanism(GRM) at the community level</p> <p>Local community members be given priority in employment opportunities</p> <p>The proponent and contractor shall adhere to national labour code during recruitment of labour.</p>	<p>Market grievance committees</p> <p>County Social & Gender Mainstreaming Officer (CSGMO), CESCO, CIO, Contractor,</p>	Construction period	<p>No of grievances/conflicts recorded and addressed</p> <p>GRM register put in place</p> <p>No of local community members employed</p>	CESCO, CSGMO, CIO	20,000
Increase in HIV/AIDS and Sexually	Sensitization of the community member	Ward Agriculture Officers, Market	Throughout construction period	Number of HIV/AIDS & STIs awareness	CESCO, CSGMO	60,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
Transmitted Infections(STIs)	<p>on prevention of HIV/AIDS and STIs</p> <p>Restrict access to contractor's workforce camp by outsiders.</p> <p>Enhance collaboration with other partners on HIV/AIDS prevention.</p> <p>Develop appropriate training and awareness materials for information, education and communication on HIV/AIDs.</p>	<p>Management committee,</p> <p>Sub-County Public health officers</p>		<p>sensitization/training sessions held</p> <p>No of HIV/AIDS awareness/training materials developed</p> <p>No of partners engaged</p>		
Increase of alcohol, drug and substance abuse	Undertake sensitizations/trainings to reduce use of alcohol & drugs	Sub-County Public health officers, Market management,	Throughout construction phase	No of sensitizations/trainings to reduce use of alcohol & drugs held	CSGMO,	20,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
Theft	Collaborate with local administration to put in place measures to prevent theft. This includes reporting of such cases to relevant authorities and handling grievances related to theft within the market Hold regular security barazas	Department of Interior Market management committee Ward Administrator	Throughout construction phase	No. of cases reported and resolved No of security barazas held	CESCO	15,000
Sexual Exploitation and Abuse by project workers against community members	Develop and implement a SEA action plan with an Accountability and Response Framework as part of the C-ESMP. The SEA action plan will follow guidance on the World Bank's Good Practice Note	Supervision Consultant, Contractor, SEA Expert, Market Management committee	Daily throughout construction period	No. of SEA Action Plan in place No. of worker trainings on SEA	CSGMO, ESIA team	50,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	for Addressing Gender-based Violence in Investment Project Financing involving Major Civil Works					
Sexual Harassment	Sensitize the community on the measures to apply in case of occurrences of SH. Register SH incidences with the relevant institutions e.g. Chief, police Collaborate with security	Supervision Consultant, Contractor Proponent Market Management committee	Daily throughout construction period	No. of sensitization sessions held No. of SH cases reported and addressed	CSGMO, ESIA team	40,000
Gender Based Violence (GBV)	Sensitize the community on the potential GBV conflicts and control	The Community, Ministry of Interior and National co-	Daily	No of sensitization meetings held	CSGMO, ESIA team	50,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	Register the conflicts with the relevant institutions e.g. Chief, police	ordination, Market Management committee		A register of GBV cases recorded with the chief/or the police		
Child and forced labor	<p>Ensure the project contract comply with the relevant national laws</p> <p>Create awareness & ensure adherence to labour laws and employment regulations.</p> <p>Collaborate with the local community leadership to ensure no child or forced labour</p> <p>Establish accessible and confidential</p>	<p>Contractor</p> <p>The Community leaders, Ministry of Interior and National co-ordination, Market Management committee</p>	Daily throughout construction period	<p>No. of awareness sensitization sessions held</p> <p>No. of child labor cases reported and addressed</p>	CSGMO, ESIA team	40,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	grievance mechanisms for workers to report any concerns about child or forced labor without fear of retaliation.					
Risk of exclusion from opportunities	Observe principle of equal opportunity and fair treatment in employment. Ensure no discrimination in employment relationship, such as recruitment and hiring, terms of employment and access to training.	Supervision Consultant, Contractor Proponent Market Management committee	Construction period	Employment records No of discrimination cases and resolution reports	CESCO, CSGMO	20,000
Risk of influx of workers	Give local community priority in employment opportunities, in	Supervision Consultant, Contractor	Construction period	Record of local community members employed &	CESCO, CSGMO	20,000

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
	casual and unskilled labour. Adhere to national labour code during recruitment of labour	Proponent Market Management committee		remunerated accordingly Labour records		
Workers grievance management	Put in place workers'/community liaison structure to address grievances. Adherence to set standards & enacted labour laws. Establish a clear and accessible complaint handling procedure. Define clear escalation procedures for handling grievances that cannot be resolved at the project site.	Contractor Proponent Market Management committee	Construction period	Liaison structure in place Records of complaints handled or escalated	CESCO, CSGMO	20,000

8.4. Operational Phase ESMMP

Potential Negative Impacts	Proposed Mitigation Measures	Responsibility for Mitigation	Frequency of Monitoring	Monitoring Indicator	Who to Monitor	Estimated cost (Kes.)
Injuries and accidents in the market	Sensitization on requisite safety measures Installation of warning signs Fencing off areas posing danger	Director Trade Narok County, Market Management committee	Monthly	The number of sensitization sessions held Number of warning signs in place	CESCO, ESIA team	30,000
Soil erosion	Train community & workers on soil & water conservation practices such terracing, Planting trees	WAO, Workers, Market/FPO Management committee CIO	Quarterly	No of training sessions held Kilometers of terraces laid No of trees planted	CESCO, ESIA team	100,000
Water quality deterioration	Undertake proper waste management through solid	Director Trade Narok County,	Monthly	No of litter bins and amount of	CESCO, ESIA team	30,000

		<p>waste separation and provision of litter -bins and dumping sites.</p> <p>Provide toilets & facilities with adequate water to manage the faecal matter</p> <p>Properly plan and design the market layout to minimize the risk of runoff into nearby water bodies.</p> <p>Incorporate proper drainage systems, such as ditches, berms, and sediment basins</p>	Market Management committee		<p>waste disposed of properly</p> <p>No of toilets with water provided</p> <p>Drainage systems in place</p>		
Increased demand	water	<p>Install water meters to measure water consumption</p> <p>Regularly monitor</p>	Proponent	Monthly	<p>No of water meters installed</p> <p>Record of amount of water used</p>	CESCO	50,000

	<p>water usage to identify trends and potential areas of excessive consumption.</p> <p>Ensure that water infrastructure, including pipes, faucets/taps are well-maintained and free of leaks.</p> <p>Replace old or inefficient equipment with water-efficient alternatives.</p> <p>Install rainwater harvesting systems to capture and store rainwater for non-potable uses.</p>			<p>Record of water infrastructure maintained</p> <p>Record of inefficient water equipment replaced</p> <p>No of rainwater equipment installed</p>		
Human Wastes mismanagement	Ensure latrines serving all gender categories are in place	Director of public health Director trade	Monthly	<p>No of latrines in place</p> <p>Record of sanitary facilities cleaning</p>	CESCO, CSGMO,	20,000

	<p>Ensure sanitary facilities are clean, well-lit, and equipped with hand washing facilities</p> <p>Provide information on the location of the latrines.</p> <p>Allocate latrines and label differently for male and female & PWDs.</p> <p>Educate latrine users about proper hygiene practices, including hand washing with soap after using the latrine.</p> <p>Ensure the safety of persons living with disabilities and elderly users</p>			<p>with ventilation</p> <p>Posters showing direction to latrines</p> <p>No of latrines allocated & labelled differently</p> <p>Posters educating latrine users on proper utilization</p> <p>No of latrines fixed with handrails</p>		
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	by installing handrails or steps where necessary.					
Accumulation of other solid wastes	<p>Sensitize market users on waste reduction practices</p> <p>Apply the 3Rs (reduce, re-use or recycle)</p> <p>Provision of dust bins to manage wastes</p> <p>Provide waste collection cubicles on site i.e., separate receptacles for paper, food and produce waste versus other non-recyclable waste. Segregate solid waste into recyclable and non-recyclable</p>	<p>Market Management committee, Environment/ Waste management officers, Director Trade</p>	Monthly	<p>No. of sensitization meetings conducted</p> <p>Amount of solid wastes material recycled/reused</p> <p>No. of waste collection cubicles in place</p> <p>Record of waste transported and disposed of properly</p>	CESCO, ESIA team	50,000

	<p>waste before disposal.</p> <p>Collect and dispose of waste regularly in designated county garbage locations.</p> <p>Arrange for proper disposal of any hazardous materials by following local regulations and guidelines for waste disposal.</p> <p>Prohibit burning waste at the project site.</p>					
Air pollution	Design and maintain waste management systems to reduce odors and airborne pollutants.	Proponent Department of environment, Market committee	Monthly	Record of Waste management system maintenance No of trees or area covered by vegetation	CESSCO, ESIA experts, DOSHA	30,000

	<p>Implement green infrastructure elements such as vegetation and trees to act as natural air filters</p> <p>Design proper ventilation systems in enclosures at the market to reduce indoor air pollution.</p>					
Traffic congestion	<p>Ensure market has a well-planned layout with designated areas for parking, loading and offloading.</p> <p>Assign specific entry and exit points for vehicles.</p> <p>Schedule and coordinate the arrival and departure of</p>	Proponent, Market committee,	Monthly	<p>Traffic management layout plan</p> <p>Record of vehicles accessing the market</p>	Market superintendent, CESCO/ESIA experts	No additional cost

	trucks during peak times. Educate traders and farmers about traffic rules and regulations.					
Unresolved Conflicts/grievances	Put in place effective conflict resolution mechanisms such as GRM Put in place market use regulations including security protocol, market space allocation & behavior expectations for participants. Inform all market participants of the rules and have easy access to them.	Market Management committee, Sub County & Ward Agriculture officers, CSGMO, CESCO, chiefs,	Throughout during operation phase	GRM in place No of trainings held Documented market regulations	CSGMO, CESCO, ESIA experts	60,000

	<p>Designate a neutral mediator or conflict resolution team to address disputes promptly.</p> <p>Maintain thorough records of all transactions and interactions within the market.</p> <p>Ensure that the market operations comply with all relevant county and national regulations related to trading and market operations.</p>					
Alcohol, drugs and substances abuse, insecurity as result of increased incomes	Conduct sensitizations and trainings against drug abuse & use of alcohol	Market Management committee, Area Chiefs,	Throughout operational phase	No of sensitizations & trainings to reduce use of alcohol & drugs held	CESCO, CSGMO, ESIA team	50,000

Insecurity	Collaborate with security agencies to reduce insecurity	Market Management committee, Area Chiefs,	Throughout operational phase	No of security barazas held	CESCO	20,000
Increase in HIV/AIDS and STIs	Sensitization of the community on prevention of HIV/AIDS and STIs	MOH, WAO, Market/FPO Management committee, CPCU	Throughout operation phase	Sensitization awareness on HIV/AIDS & STIs held	CSGMO, ESIA team	30,000
Risk of communicable diseases	Ensure visitors and workers wear appropriate protective clothing (e.g., boots, coveralls, gloves) and disinfect their footwear when entering and exiting the market. Educate market workers, farmers and vendors about communicable	Department of Health officers Market committee, Dept of trade	Throughout operations phase	Quantity of PPEs provided No of market participants trained on hygiene & communicable diseases No of disease surveillance reports	MOH	50,000

	<p>diseases and the importance of proper hygiene.</p> <p>Conduct regular disease surveillance in humans to detect potential outbreaks early.</p> <p>Develop a comprehensive emergency response plan</p>			Emergency response plan developed		
Fire incidences	<p>Engage a qualified firm to undertake wiring works of the facility</p> <p>Have in place firefighting apparatus (fire extinguishers, sand buckets, hose reels, fire blankets)</p> <p>All fire extinguishers must be serviced annually</p>	Proponent Market management committee	Quarterly & Yearly	<p>Contracts of qualified wiring firm engaged</p> <p>No of firefighting apparatus provided & serviced.</p> <p>No of security staff trained on fire management</p> <p>Environmental and Social audit reports</p>	NEMA, DOSHA	80,000

	Train strategic security staff on fire management Conduct Environmental and Social audits annually					
Accidents related to Occupation Health & safety	Display appropriate signage to warn and inform all workers and the clients on safety measures. Refer any injuries to the nearest medical facility. Provide PPEs to market workers Develop and communicate an emergency response plan that covers accidents, injuries, and disease outbreaks Conduct regular health check-ups	Proponent OHS experts Health officers Trade officers/market superintendent	Throughout operations phase	Safety signage in place Record of patients referred Record of PPEs provided Emergency response plan developed Record of the number of workers screened	DOSHA, NEMA,	60,000

	and screenings for market workers Schedule regular safety inspections and audits to identify and address hazards promptly. Ensure compliance with the national OSHA regulations and standards					
Total						1,675,000

8.5. Decommissioning Phase

Decommissioning is an important phase in the project cycle and comes last to wind up the operational activities of a particular project. It refers to the final disposal of the project and associated materials at the expiry of the project lifespan. This project is expected to serve the beneficiaries and the future generations. However, in the event that it has to end, a de-commissioning plan will be activated.

Below is a Decommissioning plan:

Recommended Mitigation Measures	Responsible party	Time frame	Cost (KSH)
Demolition Waste Management			
All buildings, machinery, equipment, structures and partitions that will not be used for other purposes must be removed and recycled/reused as far as possible	Contractor, Proponent	One-off	To be determined
All foundations must be removed and recycled, reused or disposed of at a licensed disposal site.	Contractor, Proponent	One-off	To be determined
Where recycling/reuse of the machinery, equipment, implements, structures, partitions and other demolition waste is not possible, the materials should be taken to a licensed waste disposal site.	Contractor, Proponent	One-off	-
Donate reusable demolition waste to charitable organizations, individuals and institutions.	Contractor, Proponent	One-off	-
Demolition works to be done in accordance to noise, waste and air pollution regulations.			
Minimal nuisance should be aimed at.	Contractor, Proponent.	One-off	-
Rehabilitation of project site			
Implement an appropriate re-vegetation programme(s) to restore the site to its original status.	Contractor, Proponent.	One-off	To be determined
Consider use of indigenous plant species in re-vegetation.	Contractor, Proponent	One-off	-
Trees should be planted at suitable locations so as not to interrupt power lines (screen planting), along the perimeter fence.	Contractor, Proponent	One-off	-

8.6. Internal Audit/Environmental Social Monitoring

During the implementation phase of the project, the project management will undertake regular monitoring which is intended for proper safety and protection of the environment and sustainability of the project. NEMA, will conduct routine monitoring of compliance with ESMMP implementation.

Annually, the proponent shall engage an Environmental Audit Expert to evaluate the level of compliance of the project operations with the recommendations in the ESMMP and any other emerging environmental and social issues.

CHAPTER NINE: CONCLUSIONS AND RECOMMENDATIONS

Assessment of the project shows that it is a necessary and important intervention geared towards improving the livelihoods of many farmers in the county. Implementation of activities highlighted will boost on the market for fresh tomatoes thus increase incomes realized by the farming community. The study outlines the positive and negative impacts posed by the proposed project and provides a detailed ESMMP to guide implementers in mitigating the negative impacts and maximizing on the positive ones.

9.1. Conclusion

The proposed project will address the main persistent challenges faced by farmers in the county such as exploitation on pricing by middlemen, quality issues among others. The market will contribute tremendously towards increased household incomes therefore implementation of the project will result in substantial economic gains for the communities living in the County and country as a whole. Having considered all the information collected, collated and analyzed during the study, it is the experts considered opinion that the project does not pose any serious environmental and social concerns.

The detailed ESMMP which will form the basis for monitoring and evaluation of the project activities during all the project phases

9.2. Recommendations

From the analysis conducted in this study, there are no adverse environmental impacts that cannot be adequately mitigated and the same will be assessed and identified for mitigation during annual environmental audits. It is therefore the opinion of the study team that the project be considered for approval and license be issued by NEMA as per the environmental management measures suggested by this report.

REFERENCES

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- The Constitution of Kenya Republic of Kenya 2010
- Legal Notice No. 121 Environmental Management and Co-ordination (Waste Management) Regulations 2006-29th September, 2006
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- The Environmental Management and Coordination (Fossil Fuel Emission Control) Regulations, 2006
- Public Health Act Chapter 242 Revised Edition 2012 [1986] Published By The National Council For Law Reporting www.Kenyalaw.Org 2017 – 2026
- The Environment Management and Coordination (Air Quality) Regulations, 2014
- The National Construction Authority Act, Number 41 of 2011
- HIV/AIDS Prevention and Control Act, 2006
- Sustainable Waste Management Act, 2022, Published under Kenya Gazette Supplement No. 121(Acts No. 31)
- Work Injuries and Benefits Act, 2007
- World Bank Environmental and Social Standards

APPENDICES

Appendix I : Environment and Social Screening Checklist

ANNEX 3: ENVIRONMENTAL AND SOCIAL SCREENING CHECKLIST BY BENEFICIARY COMMUNITIES FOR COMMUNITY INVESTMENTS (DEMONSTRATIONS, FLID, EDP ETC)

Section A: Background Information

Name of County..... <u>NAROK</u>	
Name of CPCU - Environmental Safeguards Compliance Officer	
(i)	Social Safeguard & Gender Mainstreaming officer..... <u>ALEX NJUJU</u>
(ii)	County Environmental Compliance Officer..... <u>ELSAH MUIJUA</u>
INVESTMENT LOCATION (Include GPRS Co-ordinates)	
Ward..... <u>MOSIRO</u>	
Zone..... <u>2</u>	
Name of CIG/VMG/Group <u>KOTONKA MARKET MANAGEMENT COMMITTEE</u>	
Postal Address: <u>P.O. BOX 895-20000 NAROK</u>	
Contact Persons	
(i)	<u>S.A.T.O.I. KURONJI</u> Cell phone: <u>0726556863</u>
(ii)	<u>FRANCIS KURATE</u> Cell phone <u>072190142</u>
Sub - Project/ Micro project Name <u>KOTONKA MARKET (FRESH PRODUCE)</u>	

Estimated cost (Kshs.)... 18,500,000.00

Approximate size of land area available for the sub - project... 1 acre

Objectives of the Sub - project

- To establish a 1631 M² physical fresh produce market space by December, 2025.
- To operationalize a 134 MT capacity fresh produce wholesale/aggregation unit within the market by December 2025.
- Building the capacity of market management committee for effective and efficient market management by March 2026.
- Building the capacity of 1000 farmers on sustainable climate smart agriculture and collective fresh produce marketing by March 2026.

Activities/enterprises to be undertaken (List)...

- Construction and maintenance of market infrastructure (sheds, stalls, roads, etc.) by December 2025.
- Provision of basic amenities such as water, electricity, and sanitation
- Training of market staff (management committee, market supervisors/ market attendant, etc.)
- Implementing market rules and regulations
- Collecting and disseminating market information (KAMIS)

Section B: Environmental Issues

Will the Subproject/Investment:	Yes	No	Remarks (If yes, elaborate)
Create a risk of increased soil erosion?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	From site excavation works.
Create a risk of increased deforestation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Create a risk of increasing any other soil degradation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Affect soil salinity and alkalinity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Divert the water resource from its natural course/location?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Cause pollution of aquatic ecosystems by sedimentation and agro-chemicals, oil spillage, effluents, etc.?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Introduce exotic plants or animals?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Involve drainage of wetlands or other permanently flooded areas?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Cause poor water drainage and increase the risk of water-related diseases such as malaria?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Stagnant water is left for mosquito breeding.
Reduce the quantity of water for the downstream users?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Result in the lowering of groundwater level or depletion of groundwater?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Create waste that could adversely affect local soils, vegetation, rivers and streams or groundwater?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Solid waste will be generated during construction and operational phase.
Reduce various types of livestock production?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Be on monoculture cropping?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Affect any watershed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Focus on Biomass/Bio-fuel energy generation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Cause accumulation of solid wastes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Solid waste could accumulate during construction and operational phase.
Cause accumulation of liquid wastes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

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If the answers to any of the above is 'yes', please include an ESMP with Subproject application.

Section C: Socio-economic Issues

Will the subproject/Investment:	Yes	No	Remarks (If yes, elaborate how)
Have challenges for women farmers to benefit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Target vulnerable community members such as physically challenged, Child headed household etc..?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Interfere with the normal health and safety of the worker/employee?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Reduce the employment opportunities for the surrounding communities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Reduce settlement (..no further area allocated to settlements)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Reduce income for the local communities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Increase insecurity due to introduction of the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Increase exposure of the community to HIV/AIDS?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Increase in mobility of people due to economic empowerment may result in exposure to HIV/AIDS.
Induce conflict?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Have machinery and/or equipment installed for value addition?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Introduce new practices and habits?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Lead to child delinquency (school drop-outs, child abuse, child labour, etc.)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Lead to gender disparity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Lead to poor diets?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Lead to social evils (drug abuse, excessive alcohol consumption, crime, etc.)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Will engage community labour	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, Community labor engagement agreement required
Lead to exclusion of disadvantaged and vulnerable groups from participating and benefiting from the investments	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Exacerbate social exclusion of other members of the society	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Lead to increase GBV/SEAH issues	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Section D: Natural Habitats

Will the Subproject:	Yes	No	Remarks (If yes, elaborate)
Be located within or near environmentally sensitive areas (e.g. intact natural forests, mangroves, wetlands) or threatened species?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Adversely affect environmentally sensitive areas or critical habitats – wetlands, woodlots, natural forests, rivers, etc.)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Affect the indigenous biodiversity (Flora and fauna)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Cause any loss or degradation of any natural habitats, either directly (through project works) or indirectly?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Affect the aesthetic quality of the landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Reduce people's access to the pasture, water, public services or other resources that they depend on?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Increase human-wildlife conflicts?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Use irrigation system in its implementation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Section E: Pesticides and Agricultural Chemicals

Will the subproject.....:	Yes	No	Remarks (If yes, elaborate)
Involve the use of pesticides or other agricultural chemicals, or increase existing use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Cause contamination of watercourses by chemicals and pesticides?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Cause contamination of soil by agrochemicals and pesticides?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Experience effluent and/or emissions discharge?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Involve annual inspections of the producers and unannounced inspections for Export produce?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Require scheduled chemical applications?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Require chemical application even to areas distant away from the focus?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Require chemical application to be done by vulnerable group (pregnant mothers, chemically allergic persons, elderly, etc.)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If the answer to the above is 'yes', please consult the IPMP that has been prepared for the project to help prepare IPMP.

Section F: Indigenous Peoples/VMGs as per ESS7

Are there:	Y	N	Remarks
IP/VMGs living within the boundaries of, or near the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Name of the VMG community
Members of VMGs in the area could benefit from the project?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	VMG members will sell their produce in the market
IP/VMGs livelihoods to be affected by the subproject?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, How
Unique/specific challenges for VMGs to benefit from the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explain
VMGs minority in the community	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, Explain/name of minority VMG
Does VMG require to donate land to benefit from the project			If yes, follow Free, prior and informed consent procedure

If the answer to any of the above is 'yes', please consult the VMGF that has been prepared for the project.

Section G: Land Acquisition and Access to Resources

Will the subproject/Investment:	Yes	No	Remarks
Require that land (public or private) be acquired (temporarily or permanently) for its development?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If yes, elaborate the tenure type this land has been allocated for market development

Require that community land be acquired (temporarily or permanently) for its development?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If yes, elaborate the registration status and community claims. Community land agreement required following principles of FPIC.
Require more than 10 percent of the affected private land parcel	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, exclude from the project proposal
Use land that is currently occupied or regularly used for productive purposes (e.g. gardening, farming, pasture, fishing locations, forests)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, Elaborate the current use/Prepare IRP
Complete land documents are not available for the sub- project investment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, what process is needed?
Is the land proposed have encumbrances?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, elaborate the encumbrance
Physically displace individuals, families or businesses?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, exclude from the project proposal
Cause loss of income for more than 30 days	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, how many. Exclude from the project proposal
Result in temporary or permanent loss of crops, fruit trees/fencing and pasture land/ loss of income from business activity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, elaborate and prepare IRP
Adversely affect small communal cultural property such as funeral and burial sites, or sacred groves?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, avoid or exclude from project proposal
Result in involuntary restriction of access by people to legally designated parks and protected areas?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, exclude
Be on monoculture cropping?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If the answer to any of the above is 'yes', please consult the mitigation measures in the ESMF.

Section H: Proposed action

(i) Summarize the above:	(ii) Guidance
<input type="checkbox"/> All the above answers are 'No' <input type="checkbox"/> There is at least one 'Yes'	<ul style="list-style-type: none"> • If all the above answers are 'No', there is no need for further action; • If there is at least one 'Yes', please describe your recommended course of action (see

below).

(iii) Recommended Course of Action

If there is at least one 'Yes', which course of action do you recommend?

- CPCU, Social services officer, labour Officer, Children Officer and NEMA - CDE will provide detailed guidance on mitigation measures as outlined in the ESMF; and
- Specific advice is required from CDE¹, Lead Scientist and CPCUs regarding Sub -project specific Assessment (s) and also in the following area(s)
- All Subproject applications/proposals MUST include a completed ESMF checklist. The NAVCDP-CPCU will review the subproject applications/proposals and the CDEs will sign off; The input from the NLC, Social Services office, Children's office, labour office and the CSSCO will be sought before the documents are presented to the CPSC.

The proposals will then be submitted to CPSC for clearance for implementation by communities in the proposed Subprojects. The projects that require **SPRs** will be forwarded to NPCU for further analysis and **CPRs** be forwarded to the World bank for approval and finally to NEMA for clearance certificate (License).

Expert Advice

- The Government of Kenya through the Department of Monuments and Sites of the National Museums of Kenya can assist in identifying and, mapping of monuments and archaeological sites;
- Expert guidance will also be provided by the land registrar on all issues related to land tenure. The children department on all issues on children, especially child labour, plus department of social services on IPs/vulnerable groups in the community, and
- Subproject specific Environmental and Social impact assessments, if recommended, must be carried out by experts registered with NEMA and be followed by monitoring and review. During the process of conducting an ESIA the proponent shall seek views of persons who may be affected by the Subproject. The ESSIO requires consultation of Subproject affected groups and disclosure of ESIA's conclusions. In seeking views of the public after the approval of the Subproject, the proponent shall avail the draft ESIA report at a public place accessible to project-affected groups and local NGOs/CSO/SAIC/CDDCs.

¹County Director of Environment and the County Technical Team

Completed by:

Name: JAMIN RUTTO

Position / Community: LEAD EXPERT

Date: 11/10/2024

Field Appraisal Officer (NEMA - CDE)

Recommendation SUBMIT A COMPREHENSIVE SUMMARY PROJECT REPORT
AS PER EIA/EA REGULATIONS

Signature: [Signature]

Stamp: 

Date:

Note:

Project category	Characteristics
High impact	Full and extensive ESIA needed- irreversible environmental impacts; impacts not easy to pick or isolate and mitigation cost expensive; EMP design not easily done; Must have the ESIA done and future annual EAs instituted
Medium impact	Site specific environmental impacts envisaged; mitigation measures are easy to pick, not costly and ESMP needed, design readily done; need an ESIA and future EAs
Low impact	Have minimal or occasionally NO adverse environmental & social impacts; exempted from further environmental processes save environmental audits. Only ESMP required
Land	Land tenure documentation needed and land resolution and consent Form needed with project affected person/community
Loss of income and assets	Income restoration plan needed
Presence of VMG/IP	Additional actions needed
Risk of Child labor/SEAH	Additional actions needed

Appendix II : Minutes of Public Barazas

MINUTES OF PUBLIC PARTICIPATION MEETING HELD ON 24TH OCTOBER 2024 AT KOJONGA CENTRE, MOSIRO WARD

MIN 1/2024: PRELIMINARIES

This consultative meeting took place at the proposed Kojonga market site from 12:00pm. The aim of the community meeting was to evaluate the community's perceptions of the proposed project, identify potential environmental, socio-economic impacts associated with the project. The community members were also encouraged to openly air their views pointing out the potential risks and also to propose the potential mitigation measures.

Specific Objectives

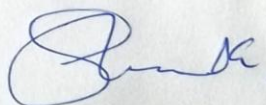
- 1) To clearly inform the community members on the objectives of the project and expected works
- 2) To seek the views of community and other stakeholders on any issues pertaining implementation of the proposed project
- 3) To foster long term project sustainability and ownership
- 4) To reduce problems of institutional co-ordination
- 5) To identify potential risks and potential mitigation measures

REMARKS BY THE AREA CHIEF

The area chief Mr. Samuel Olochoki, welcome the ESIA study team to the meeting and assured the participants of the local administration support to the proposed project reiterating that the project if implemented will improve on cohesion of people living in the area through improved livelihoods and well-being realized from the benefits drawn from the project. He urged the community to fully support the implementation team to ensure successful implementation.

REMARKS BY THE FPO REPRESENTATIVE

Mr. Philip Kusero who was representing the potato farmer producer organization in the area welcomed the project team and appreciated the interventions that were being initiated by the World bank projects and confirmed that the farmers were elated to continue collaborating with the project implementation team to improve on their farming activities. He encouraged fellow farmers to strongly do their part to ensure successful realization of the project goals.

 ASST. CHIEF
KOJONGA SUB-LOCATION
DATE: 24/10/2024

The ward agriculture officer, Mr. Charles Kapasha was then invited to usher in the ESIA consultants. The officer thanked the community members for turning up to attend the meeting emphasizing that the event was critical in order for the community to fully embrace the proposed project and share their opinions to improve on the project plans. He requested the members to share their concerns freely to assist the agriculture office to serve them appropriately. He then ushered in the ESIA consultant to proceed with the meeting's deliberations.

REMARKS BY THE ESIA CONSULTANT

Mr. Jamin Rutto, the ESIA lead expert appreciated the organizers of the meeting as well as all the participants for attending the meeting. He explained to the members that public participation was the first step in the process of developing an ESIA as a requirement by NEMA before the implementation of any project. He explained the proposed project which entailed construction of a fresh produce market in Kojonga expected to provide space for farmers and traders to transact business of sale of fresh farm produce for increased market participation. He then explained to the members that it was imperative for them to share their opinion on the issues of concern that may arise in the course of implementing the project. He emphasized that their views would be quite useful in shaping up the design and operationalization of the proposed project.

MIN 2/2024: DISCUSSION AND INPUTS AND VIEWS FROM THE COMMUNITY

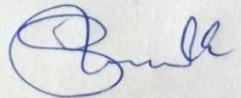
The lead expert took the community through the following aspects of the project;

- Key objectives of the projects and the outcomes.
- The screening checklist to be filled through FGDs
- Screening sections; Background information, Environmental issues, Socio-economic issues, Natural habitats, pesticides and agricultural chemicals, indigenous peoples and land acquisition and access to resources and the proposed actions

Thereafter he explained the meaning of the project impact assessment by giving examples the type of risks that could occur and their potential mitigation measures.

General Comments by Community Members

- The members warmly welcomed the project and reiterated that they had suffered for long due to lack of a good place to sell their farm produce especially potatoes which was being produced in large quantities.

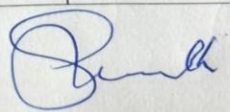


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- Another community member reported that all along the farmers have been at the mercy of middlemen to sell their produce and had been exploited and forced to be price takers with no leverage to negotiate for better prices for their produce.

The following are some of the negative impacts the members raised as having chances of being felt during project implementation;

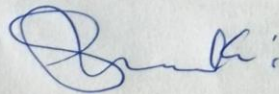
ISSUE	PROPOSED MITIGATION
Accidents/injuries during construction	<ul style="list-style-type: none"> • Provision of Personal Protective Equipment to all workers in the site such as gumboots, helmets, gloves among others. • Provide First aid kits and train workers on safety measures
Solid waste accumulation	<ul style="list-style-type: none"> • Provide waste holding facilities such as litter-bins • Excavated soil should be used for land filling, backfilling • Undertake proper disposal of waste
Increase incidences of communicable diseases	<ul style="list-style-type: none"> • Install hand washing facilities with adequate running water and soap, including sanitizing agents • Sensitize community on measures to prevent spread of diseases
Effluent generation	<ul style="list-style-type: none"> • Establish proper drainage and effluent disposal structures such as soak pits & septic tank. • Construct artificial drainage channels to lead water into the designated disposal line
Increase in social evils such as alcohol & drug abuse, theft	<ul style="list-style-type: none"> • Provide training & mentorship programs to educate people on dangers of drug abuse • Collaborate with security agencies in the project area to minimize cases of theft & insecurity
Increase in HIV/AIDS and STIs	<ul style="list-style-type: none"> • Sensitization of the workers on prevention of HIV/AIDS and STIs

 : ASST. CHIEF
 : KOJONG'A SUB-LOCATION
 DATE: 29/10/2024

MIN 3/2024: ADJOURNMENT

The ESIA team having facilitated discussions with the stakeholders on all the issues associated with the proposed project, informed the members that they would then embark on preparing Environmental and Social Management and Monitoring Plan (ESMMP) to be deliberated and agreed upon during the subsequent baraza. They urged the stakeholders to fully participate in the project implementation stages to foster project ownership and sustainability.

There being no other business, the meeting was adjourned at 2pm.



ASST. CHIEF
KOJONGA SUB-LOCATION
DATE: 24/02/2024

**MINUTES OF PUBLIC PARTICIPATION EXIT BARAZA HELD ON 21ST JANUARY
2025 AT KOJONGA CENTRE, MOSIRO WARD**

MIN 1/2025: PRELIMINARIES

The meeting was undertaken with representation of stakeholders for the proposed Kojonga market development in attendance. The meeting began at 2.20pm with a word of prayer by one of the community members. Thereafter, the area assistant chief welcomed all participants to the meeting appreciating them for attending in large numbers.

Specific Objectives

- 1) To present the developed Environmental and Social Management and Monitoring Plan (ESMMP) for discussion and concurrence with all stakeholders
- 2) To further seek the views of community and other stakeholders on any other issues pertaining implementation of the proposed project
- 3) To inform stakeholders on their expected roles during project implementation to ensure environmental and social safeguards are put in place and implemented for posterity.

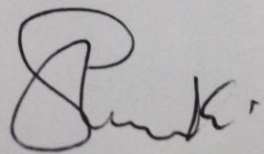
REMARKS BY THE AREA CHIEF

The area chief Mr. Samuel Olochoki, facilitated a round of introductions for the stakeholders present who included; Potato FPO representatives, Kojonga Market committee members, traders, brokers, gender representatives, the clergy and community elders among others. He informed the ESIA study team that the community members were always positive and greatly welcomed the project as it would transform their livelihoods through increased household incomes from improved marketing of their produce. The chief then invited the sub-county agriculture officer Mr. Charles Kapaasha to proceed with the meeting deliberations.

The officer thanked participants for availing themselves to the meeting emphasizing on their important role in project implementation and the need for them to fully own the project to ensure sustainability. He then welcomed the ESIA consultants to facilitate the subsequent sessions of the meeting.

MIN 2/2025: PRESENTATION OF ESMMP

Mr. Jamin Rutto, the ESIA lead expert appreciated all the participants for attending and continuing to participate in fostering team spirit in project implementation stages. He reminded the



ASST. CHIEF
KOJONGA SUB-LOCATION
DATE 21/01/2025

participants on the ESMMP earlier developed incorporating their views captured during the public participation entry baraza. He then presented the plan detailing the potential negative impacts, their proposed mitigation measures, the responsible parties, period of the measures and their approximate costs. The impacts included the environmental as well those affecting the socio-economic environment.

The team then held a question answer session to discuss ESMMP where the experts clarified on different areas of the plan. The team then gave them members opportunity to provide their remarks pertaining the proposed project.

MIN 3/2025: REMARKS BY THE STAKEHOLDERS

Area Chief;

Appreciated the project and requested consideration of the locals for jobs according to the qualifications required. He also requested the project leadership to consider exploring drilling of a community borehole at the site to aid in provision of clean water for use in the market as there was a challenge on access to clean water within the neighborhood. Lastly, he proposed leveling the project site before construction to reduce on surface run-off owing to the sloppy nature of the proposed project site.

Mr. Saitoti, Kojonga Market Committee Chairman;

Requested for grading of the road around the site for ease of access to the market. He also inquired on possibility of connecting the market with electricity and more importantly requested that the proponent clearly oversee formalization of the committee that will be tasked with project management & operationalization in collaboration with the County government to ensure seamless implementation. hat their views would be quite useful in shaping up the design and operationalization of the proposed project.

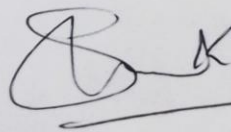
Esther Nashipae;

The member concurred that the project will provide competitive market for their produce and inquired on how the farmer producer organizations were going to benefit from the proposed project.

The ESIA experts explained the market design would provide section for the FPO to aggregate their wares to facilitate collective marketing.

Paul Oloolchoki;

Informed participants that soil erosion could be one of the negative effects that would face the project as well public health issues due to inadequate access to clean water. He therefore requested for consideration in sourcing for reliable source of clean water.



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KOJONGA SUB-LOCATION
DATE 21/01/2025

The ESIA team informed members that the project would explore different options for sourcing water for use in the market.

Edward Chege, Youth Representative;

He urged all farmers in the area to join FPOs in order to fully benefit from the market through collective sale of produce to fetch higher prices. He informed participants that once engaged, the contractor for the proposed project would likely bring skilled masons and other personnel and would request the locals willing to work to be hired based on the skills possessed. He therefore requested the community to collaborate and allow rational decisions to be made during the hiring period.

Ole Naeku; Community Elder

Requested that the project design should consider proper waste management system including provision of dust bins and solid waste disposal site as well as liquid waste disposal system such as septic tank.

Lucy Kuronoi;

She lauded the NAVCDP project leadership for listening to the voice of women and entire community on construction of Kojonga market which would solve challenges of markets for their farm produce. She commended the on-going efforts of strengthening community farmer organizations to form of join strong cooperative entities to facilitate produce aggregation as well as value addition.

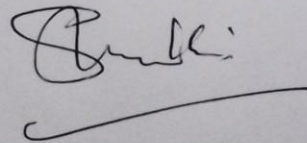
MIN 4/2025: REMARKS BY ESIA TEAM

The team appreciated the views by the community members and concurred that the proposed project would provide interventions especially on improving market participation and value addition of farm produce. The team informed the members that the project would strengthen the Grievance Redress Mechanism (GRM) to handle issues that may arise at the course of project implementation. There would also be considerations for solid and liquid waste management in the project designs.

MIN 5/2025: ADJOURNMENT

The ESIA team urged the stakeholders to be proactive in future project activities to improve on efficiency and promote ownership and sustainability of the project.

There being no other business, the meeting was adjourned at 4.20pm.



ASST. CHIEF
KOJONG'A SUB-LOCATION
DATE 21/0/2025

Appendix III: Public Participation Attendance Lists



NATIONAL AGRICULTURAL VALUE CHAIN DEVELOPMENT PROJECT (NAVCDP)
County Project Coordinating Unit

Activity: ESIA DEVELOPMENT - SCREENING & ENTRY BARAZA
Venue: KOJONGA Date: 24/10/2024

ATTENDANCE LIST

No.	Name	ID/PF No.	Dep./Org	Desig.	Gender		Age		Phone No.	Contact Email	Sign
					M	F	<35 Youth	>35 Adult			
1	Jane Nyombura	35631906									
2	Quah Wambui	25115025				✓		0758233200			
3	Jane Naisingei	34153192				✓	✓	0759005287			
4	Teresia Naisingei	30360012				✓	✓	0703796400			
5	Ann Naisiae	33225590				✓	✓	0704480383			
6	Grace Nyabwari	27279032				✓	✓	0793631335			
7	Mary Nien	3200842				✓	✓	0757102246			
8	Margaret Njoki	26945226				✓	✓	0716578222			
9	Rigina Mwauna	2651181				✓	✓	0701007008			
10	Mary Sintamai	31356765				✓	✓	0718305976			
11	Susan Wanjiku	20729634				✓	✓	0795040164			
12	Elizabeth Wanjiku	30646997				✓	✓	0799256907			
13	Harrison Ojaga	2525533				✓	✓	0711280022			
14	Philipman Makori	30990837				✓	✓	0740642820			
15											



NATIONAL AGRICULTURAL VALUE CHAIN DEVELOPMENT PROJECT (NAVCDP)
County Project Coordinating Unit

Activity: ESIA DEVELOPMENT - SCREENING & ENTRY BARAZA
Venue: KOJONGA Date: 24/10/2024

ATTENDANCE LIST

No.	Name	ID/PF No.	Dep./Org	Desig.	Gender		Age		Phone No.	Contact Email	Sign
					M	F	<35 Youth	>35 Adult			
1	John Paul Sumbi	2281923	Farmer		M		✓		0724209211		
2	ANTON GRACHANJA	35924510	Farmer		M		✓		0746182271		
3	JAMIN RUTO	20101899	DRALR	SCALO	M		✓		0722245181	with jamon.ruto@dralr.go.ke	
4	STEPHENT TOUKO	9175302	Farmer		M				0746182271		
5	Mulke Namicha Mwangi	21076414	Farmer			F	✓		0724209211		
6	Philip S Kusero	9782834	Farmer		M		✓		0710644381		
7	Joseph Mwai	25124032	F		M		✓		0720065224		
8	Mary Kiangak	34724398	Farmer			F	✓		0112592594		
9	MARION TANYALIS	25011508	Farmer			F	✓		0708858043		
10	ANN MWANGI	36804732	Farmer			F	✓		075622030		
11	SELESTIAN M. MASHU	23713716	Farmer			F	✓		0797508916		
12	Seena mereu	25012115	Farmer			F	✓		0799260204		
13	Lilian Mugisa	29743975	Farmer			F	✓		0741502188		
14	Beatrice Ashley	34121452	Teacher			F	✓		0795082938		
15	Anna Tumbao	620712	Teacher			F	✓		0720767559		



NATIONAL AGRICULTURAL VALUE CHAIN DEVELOPMENT PROJECT (NAVCDD)
County Project Coordinating Unit
NAROK

Activity: DEVELOPMENT OF ESIA- EXIT BARAZA

Venue: KOJONGA CENTRE

ATTENDANCE LIST

Date: 21-1-2025

No.	Name	ID/PF No.	Dep./Org	Desig.	Gender		Age		Phone No.	Contact Email	sign
					M	F	<35 Youth	>35 Adult			
1	Philip Kusero	9785834	COOC	Potato	✓						
2	Lusy Kiribet	11218507	SAC	Potato	F	✓		0710644351			
3	ESTHER NASHIPAL	21171958	Secretary	Potato		✓		0726618095			
4	Agnes Kusery	2137704	member	farmer		✓		071051315			
5	JOSEPH MWAI	25126032	member	Potato	✓			0790644247			
6	Jane mumbi	9983955	farmer	Potato		✓		0710068726			
7	Peter Kirtela	42825582	farmer	potato	✓			07148839831			
8	Minister Kirtela	27045886	farmer	potato	✓			0713083043			
9	James Kirtela	41072924	farmer	Potato	✓			0728354966			
10	NICHOLAS KUSERO	5039678	farmer	Potato	✓			0714472235			
11	Philip Mungira	35483733	farmer	Potato		✓		0113376162			
12	ESTER LEDANA	21027102	FARMER	Potato	✓			0711327720			
13	Joshua Tumbiro	99785256	member	Potato	✓			0713140511			
14	LUKAS LONATIEN SUNAII	35482542	Assistant Secretary	Potato	✓			0708176954			
15	LASITI OLEKIMANIWA TIRAKWAI	24482943	member	Potato	✓			0726307561			



NATIONAL AGRICULTURAL VALUE CHAIN DEVELOPMENT PROJECT (NAVCDD)
County Project Coordinating Unit
NAROK

Activity: DEVELOPMENT OF ESIA- EXIT BARAZA

Venue: KOJONGA CENTRE

ATTENDANCE LIST

Date: 21-1-2025

No.	Name	ID/PF No.	Dep./Org	Desig.	Gender		Age		Phone No.	Contact Email	sign
					M	F	<35 Youth	>35 Adult			
1	Isaac Tumbiro	2612805P	Farmer	Potato	✓						
2	Ronana Kuyonoi	0908960	1960		✓			0714307772			
3	Santati Kuyonoi	0908951	1962	Chemist	✓			0112243129			
4	FRANCIS M. NIAHON	11708465	1971	Soko	✓			0726896863			
5	ESAM M. SINDAKA	25283789			✓			0724791968			
6	JOHN I. OARLU	8338576		CHD	✓			0724475977			
7	ERICKSON TIPIS KIRICAI	9785835	MURUKU		✓			0723173468	mukupun9@gmail.com		
8	Simon Lasiti NKODULO	9785829	Farmer		✓			0724805223			
9	Isack Maitene	3247887	Farmer		✓			072227744			
10	MURRAYO MHUDUDO	2698493	FARMER		✓			072427106			
11	Brahim MAINA NGIJI	10194456	farmer		✓			070822445			
12	MOSES MUGUMBI	2453505P	farmer		✓			070535771			
13	DAVID N. KATHOI	092690	"		✓			0757079491	moses.gumbi@gmail.com		
14	Peter TIMLOI KUSEKO	8814378	"		✓			0793667338			
15	Edward Chege	26142159	Farmer		✓			0729152666			
	Joseph Karobalo	26954822	Farmer		✓			0716923492	Edwardmsh@117.com		
								07256455			



NATIONAL AGRICULTURAL VALUE CHAIN DEVELOPMENT PROJECT (NAVCDD)
County Project Coordinating Unit
NAROK

Activity: DEVELOPMENT OF ESIA - EXIT BARAZA

Venue: KOJONGA CENTRE

Date: 21-1-2025

ATTENDANCE LIST

No.	Name	ID/PP No.	Dep./Org	Desig.	Gender		Age		Phone No.	Contact Email	sign
					M	F	<35 Youth	>35 Adult			
1	SIRERE MASHERI	25862347		Noted							
2	Joseph Nkadada	21627088		Director	✓			✓	0744862333		
3	JOSEPH NKODI BOMI	0909106		Chief Insp.	✓			✓	0722752964		
4	JOSHUA KIJERO	9785719		farmer	✓			✓	0711230138		
5	Alice NKOIBOMI	24300472		Farmer		✓		✓	0790499228		
6	Charles Kapasha	34011933	DOALF	SCTT	✓		✓		072700746		
7	Samuel Mscoti	2166259	INTERRAC	CHIEF	✓			✓	0758990032	Kapashacharles@doal.gov.ke	
8	JAMIN RUTTO	23384976	DIRAF	PLSD	✓			✓	0720259121	Samuelmscoti21@gmail.com	
9									0720259121	intj@on.gov.ke	
10											
11											
12											
13											
14											
15											

Appendix IV: Questionnaires

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENTERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. 010..... Date of Interview. 29/10/24..... Name of

Interviewer..... Charles Kapooka

Respondent

Name. TABITHA KASANE..... ID/Telephone. 26447155..... Age 36
..... 072750804

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m (D) Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

..... Job creation
.....
..... - Market for produce
.....
..... - Improve infrastructure
.....

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. 006 Date of Interview 24/10/24 Name of Interviewer JAMIN RUTIB

Respondent

Name LEDAMA KISOIYAN ESHO ID/Telephone 20250910 0721965839 Age 47

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m (D) Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

(X) Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

- Increase in employment for youth, women & men
- Increased incomes
- Improve market for potatoes

.....
.....
.....
.....

3. What negative socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

- wastes in the market
.....
Insecurity
.....
.....
.....
.....
.....
.....
.....
.....
.....
.....

4. Make suggestion on the measures the developer needs to put in place during the construction and operation phases of the project.

- Use of waste collection equipment and transportation
.....
- Collaborate with area administration.
.....
.....
.....
.....
.....
.....

5. Do you support the proposed Project?

() Yes () No () I don't know

Signature.....*[Signature]*.....

Thank you

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. 024..... Date of Interview 24/10/2024..... Name of Interviewer JAMIN RUTTO.....

Respondent Name PHILIP S KUSERO..... ID/Telephone 9785834..... Age 56.....

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m (D) Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

development in the area
It will up grade the land

.....
.....
.....
.....
.....

3. What negative socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

The construction will cost
to prepare foundation of
the Market

.....
The community will be financially
developed and addition of employment

4. Make suggestion on the measures the developer needs to put in place during the construction and operation phases of the project.

Water, machine

.....
.....
.....
.....
.....
.....
.....
.....
.....
.....
.....

5. Do you support the proposed Project?
() Yes () No () I don't know

Signature..... 

Thank you

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. D15..... Date of Interview 24/10/2024..... Name of Interviewer Charles Kapsarha.....

Respondent

Name NAKENRE M. SOILA..... ID/Telephone 0714023402..... Age 40 yrs.....
24481712

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m () Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

There may be ~~ticks~~ during construction and in market days. Increase of vehicles during market days may lead to ~~project~~ employment as drivers.

.....
.....
.....
.....
.....

3. What negative socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

Lots of soils will be excavated this
cause huge lump of become waste
Dust will be released and may
cause airborne infections

4. Make suggestion on the measures the developer needs to put in place during the construction and operation phases of the project.

Ensure use of excavated soils to
refill areas
Provide dust masks
consider locals in jobs

5. Do you support the proposed Project?

() Yes () No () I don't know

Signature: 

Thank you

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development-Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. D12..... Date of Interview. 24/10/2024..... Name of

Interviewer. JAMIN RUTTO.....

Respondent

Name. SAMUEL OLOLOTOKI..... ID/Telephone. 0724289121..... Age... 47.....

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m (X) Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes (V) No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

- 1) Ready market
2) uplift economic of the area
3) generate & create high income
4) Reduce expenses of transporting farm produce
5) create job opportunities for local people
6) uplift the living standard of local people

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. 004..... Date of Interview 24/10/24..... Name of Interviewer Charles Kapumba.....

Respondent

Name Virginia Karjiku..... ID/Telephone 30450457..... Age 32.....

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m (D) Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

Youth will get employment to work in the project
Money will be in circulation during market days
Women will sell their items eg. vegetables & potatoes
in the market.

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. 805 Date of Interview.....Name of Interviewer.....

Respondent

Name MILKA WAMATI ID/Telephone 210782414 0724799841 Age 54

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m (D) Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

Development to the area
It will up grade the cost
of Land shelling

The market that will be

constructed will need preparation
of foundation

3. What negative socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

The community will have a
value addition of their crops
and business

4. Make suggestion on the measures the developer needs to put in place during the construction and operation phases of the project.

employ locals

5. Do you support the proposed Project?

() Yes () No () I don't know

Signature: MUD

Thank you

QUESTIONNAIRE

Environmental & Social Impact Assessment for the proposed construction of Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

QUESTIONNAIRE FOR NEIGHBOURS, LOCAL COMMUNITY MEMBERS /SORROUNDING ENERPRISES

Our client, County Government of Narok (Development of Agriculture, Livestock and Fisheries), has received funding from the World Bank under the National Agricultural Value Chain Development Project (NAVCDP) to construct Kojong'a Market at Mosiro Ward, Narok East Sub-County, Narok County

As a stakeholder/member of the local community neighbouring the project, we request for your comments on the expected Environmental and Social-Economic Impacts of the proposed project. As a requirement of EMCA 1999 section 58 on Environmental Impact Assessment and audit, public participation is an important exercise for achieving the fundamental principles of sustainable development.

General information:

Reference No. 023..... Date of Interview. 24/10/2024.....Name of

Interviewer. JAMIN RUTTO.....

Respondent

Name. KIMARON KAGOL.....ID/Telephone. 0726032780.....Age...
68 yrs

1. A) What is the distance between your house/enterprise/residence and the project?

(Tick where applicable)

(A) Less than 100m (B) Between 100-500m () Over 1km

B) Do you think you or your enterprise will be affected by the proposed project

() Yes () No

2. What positive socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

- (1) Job creation.....
(2) Uplift the living standard of the locals.....
(3) Create ready market.....
(4) Reduce the expenses of transporting.....
.....
Term produce to the market.....
(5) Adds land value of the area.....
.....

(6) The interaction of different people will bring changes in productivity.

(7) Farming education will be offered to the farmers.

3. What negative socio-economic and environmental impacts do you anticipate during the construction and operation phases of the proposed Project?

(1) Use of drugs & alcohol will increase
(2) Insecurity will be high

(3) Poor Sanitation
(4)

(5) Reduction of other crops will be high. Small most of the farmers will concentrate in growing potatoes only.

4. Make suggestion on the measures the developer needs to put in place during the construction and operation phases of the project.

(1) Identify dumping site
(2) Identify source of water


(3) Install power

(4) Ensure there is passage roads

(5) To make use of local labourers.

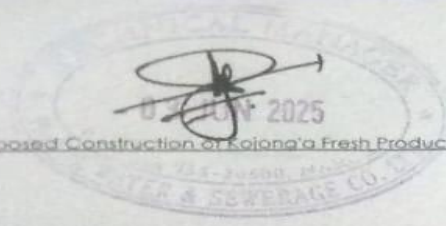

5. Do you support the proposed Project?

() Yes () No () I don't know

Signature 

Thank you

Appendix V: Bill of Quantities





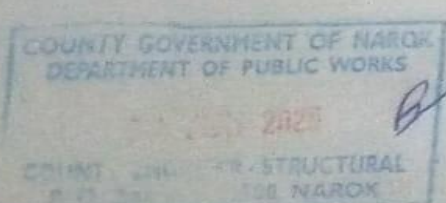
Proposed Construction of Kojong'a Fresh Produce Market

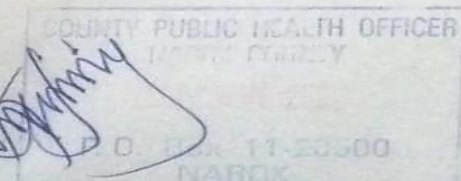
PROPOSED CONSTRUCTION OF KOJONG'A FRESH PRODUCE MARKET, NAROK COUNTY


GRAND SUMMARY

	DESCRIPTION	AMOUNT
	(i) GENERAL PRELIMINARIES	2,500,000.00
	(ii) PARTICULAR PRELIMINARIES	550,000.00
	(iii) PROJECT PROVISIONS	6,762,500.00
	BUILDERS' WORK SUMMARY	67,069,112.46
	ELECTRICAL INSTALLATIONS	6,925,810.00
	MECHANICAL INSTALLATIONS	4,525,940.00
	EXTERNAL WORKS	4,334,342.00
	PRIME COST & PROVISIONAL SUMS	6,200,000.00
	TOTAL CARRIED TO FORM OF TENDER (VAT Inclusive)	98,867,704.46









Grand Summaries

GS/1

Appendix VI: Pictorials



Figure 11; Mr. Saitoti, Kojonga market committee chair giving his views



Figure 12; A community member addressing the public baraza

Appendix VII: Chance Find Procedure

If any person discovers a physical cultural resource, such as (but not limited to) archaeological sites, historical sites, remains and objects, or a cemetery and/or individual graves during excavation or construction, the following steps shall be taken: -

1. Stop all works in the vicinity of the find, until a solution is found for the preservation of these artefacts, or advice from the relevant authorities is obtained;
2. Immediately notify a supervisor. The foreman will then notify the Construction Manager and the Environment Officer.
3. Record details in Incident Report and take photos of the find;
4. Delineate the discovered site or area; secure the site to prevent any damage or loss of removable objects. In cases of removable antiquities or sensitive remains, a night guard shall be arranged until the responsible local authorities take over;
5. Preliminary evaluation of the findings by archaeologists. The archaeologist must make a rapid assessment of the site or find to determine its importance. Based on this assessment the appropriate strategy can be implemented. The significance and importance of the findings will be assessed according to the various criteria relevant to cultural heritage such as aesthetic, historic, scientific or research, social and economic values of the find;
6. Sites of minor significance (such as isolated or unclear features, and isolated finds) to be recorded immediately by the archaeologist, thus causing a minimum disruption to the work schedule of the Contractor. The results of all archaeological work must be reported to the Ministry/Agency, once completed;
7. In case of significant find the Agency/Ministry (the National Museums of Kenya) shall be informed immediately and in writing within 7 days of the find;
8. The onsite archaeologist provides the National Museums of Kenya (NMK) team with photos, other information as relevant for identification and assessment of the significance of heritage items.
9. The NMK must investigate the fact within 2 weeks from the date of notification and provide response in writing.
10. Decisions on how to handle the finding shall be taken by the responsible authorities. This could include changes in the project layout (such as when the find is irremovable remain of cultural or archaeological importance) conservation, preservation, restoration and salvage;
11. Construction works could resume only after permission is granted from the responsible authorities.
12. In case no response received within the 2 weeks' period mentioned above, this is considered as authorization to proceed with suspended construction works.

All finds will be registered. Photo log, copies of communication with decision-making authorities, conclusions and recommendations/guidance, implement

Appendix VIII: Kojonga Market Committee



NAROK COUNTY GOVERNMENT DEPARTMENT OF TRADE, INDUSTRIALIZATION & CO-OPERATIVE DEVELOPMENT

County Headquarters
Mau-Narok Road, Narok Town
P.O. Box 898 - 20500
Narok, Kenya.

Tel: 020 268 8929/03
Email: trade@narok.go.ke
Website: www.narok.go.ke

When Replying Quote: NCG/Trade/Markets/28

10th June, 2025

The Navedp Coordinator
County Government of Narok
P.O. Box 20500-898

KOJONGA MARKET COMMITTEE MEMBERS

The above subject matter refers.

S/NO	NAME	ID NO	DESIGNATION	CONTACT
1	Saitoti kurinoi	0908951	chairman	0726856863
2	Litet kirtela	124236683	v. chairman	0728483201
3	Philiph kusero	9785834	Secretary	0710644381
4	Esther mereu	35013415	Treasurer	07926930
5	Magret ngethe	26943226	Member	0716378444
6	Mary kisuna	2583113	Member	0714664961
7	Nkini malakiti	38539944	Member	0722769688
8	Nkimba kitasur	12423759	Member	0708650449
9	Waithera kusero	21377045	Member	0790644247
10	Jane nasinkoi	34153198	Member	0757005287
11	Michael masaine	20875201	Member	0711409927

Yours faithfully,


Francis Kudate
Chief Officer- Trade & Industrialization
County Government of Narok.



Appendix IX: NEMA Licence for Lead Consultant



EAE 23064121

FORM 7

(r.15(2))

**NATIONAL ENVIRONMENT MANAGEMENT
AUTHORITY (NEMA)
THE ENVIRONMENTAL MANAGEMENT AND CO-ORDINATION ACT
ENVIRONMENTAL IMPACT ASSESSMENT/AUDIT (EIA/EA) PRACTICING
LICENSE**

License No : NEMA/EIA/ERPL/22738

Application Reference No: NEMA/EIA/EL/30080

M/S Jamin Kipkogei Rutto
(individual or firm) of address
P.O. Box 5 - 20500 NAROK

is licensed to practice in the
capacity of a (Lead Expert/Associate Expert/Firm of Experts) **Lead Expert**
General

registration number **11967**

in accordance with the provision of the Environmental Management and Coordination
Act Cap 387.

Issued Date: 2/14/2025

Expiry Date: 12/31/2025

Signature.....

(Seal)

Director General
The National Environment Management Authority

P.T.O.



Appendix X: Land Document



NAROK COUNTY GOVERNMENT **DEPARTMENT OF LANDS, HOUSING, PHYSICAL PLANNING & URBAN DEVELOPMENT**

County Headquarters
Mau Narok Road, Narok Town.
P.O. Box 898-20500
Narok, Kenya.

Tel: 020-268 8929/03
Email: lands@narok.go.ke
www.narok.go.ke

When Replying Quote:

REF: NCG/CO/PP&UD/UD&D/VOL.I/09

17TH JANUARY, 2025

Livingstone Chepukel,
County Project Coordinator,
National Agricultural Value Chain Development Project (NAVCD)
NAROK

Thro'
Chief Officer,
Department of Agriculture & Irrigation,
NAROK COUNTY



RE: CONFIRMATION OF LAND & NO OBJECTION FOR CONSTRUCTION OF THE PROPOSED KOJON'GA FRESH PRODUCE MARKET ON PARCEL NO. CISMARA/KOJONGA/607 - KOJONGA, NAROK EAST SUB COUNTY

The above mentioned subject matter refers.

This is to confirm the setting aside of approximately **1 acre land** within **Kojon'ga Trading Centre** on Parcel No. Cismara/Kojonga/607 for development of the Fresh Produce Market. The site has been planned and surveyed awaiting processing of ownership document.

The site is also free of any encumbrance or dispute.

Attached herewith, find Advisory Plan No. **NCG/NAROK EAST/KOJONGA/01/2025** and Topo Map depicting the size and topography of the site respectively.

PHYSICAL PLANNING
CHIEF OFFICER
17 JAN 2025
Daudi Naisho
Box 898-20500 NAROK
CHIEF OFFICER - PHYSICAL PLANNING AND URBAN DEVELOPMENT
NAROK COUNTY GOVERNMENT

Copy to:

- 1) CECM - Lands, Housing, Physical Planning and Urban Development - **NAROK COUNTY**
- 2) CECM - Agriculture, Livestock, Fisheries & Irrigation- **NAROK COUNTY**



NAROK COUNTY GOVERNMENT
DEPARTMENT OF LANDS, HOUSING, PHYSICAL PLANNING & URBAN
DEVELOPMENT

County Headquarters
Mau Narok Road, Narok Town,
P.O. Box 898-20500
Narok, Kenya.

Tel: 020-268 8929/03
Email: lands@narok.go.ke
www.narok.go.ke

When Replying Quote:

Ref: NCG/CO/LANDSADMIN/VOL.I/82

Date: 16th June, 2025

The Chief Officer
Department of Trade, Tourism & Industrialization
County Government of Narok
P.O. Box 20500-898
Narok

RE: APPROVAL FOR LAND ALLOCATION – CISMARA/KOJONGA/607

The above subject matter refers.

Reference is made to your letter dated **10th June, 2025**, regarding the request for allocation of parcel number **CISMARA/KOJONGA/607** situated at Kojong'a Location, currently under the Department of Agriculture, for the development of the proposed Kojong'a Fresh Produce Market.

After careful consideration and in recognition of the strategic importance of this project in supporting local trade, enhancing livelihoods, and promoting economic growth within the County, I hereby approve the allocation of the aforementioned parcel to the Department of Trade, Tourism, and Industrialization for the stated purpose.

Attached herewith, find Advisory Plan No. **NCG/NAROK EAST/KONJONGA/01/2025** and Topo map depicting the size and topography of the site respectively.

Yours faithfully,

DAUDI NAISHO
Chief Officer - Physical Planning & Urban Development
County Government of Narok



Copy to:

- CECM - Lands, Housing, Physical Planning & Urban Development - **NAROK COUNTY**
- Chief Officer - Lands - **NAROK COUNTY**
- Deputy Director, Physical Planning - **NAROK COUNTY**

Appendix XI: Kojonga Market Management MOU



MEMORANDUM OF AGREEMENT BETWEEN KOJONGA MARKET MANAGEMENT COMMITTEE
AND THE COUNTY GOVERNMENT

MEMORANDUM OF UNDERSTANDING (MOU)

Between

Market Management Committee

And

County Government of Narok

This Memorandum of Understanding (MOU) is made and entered into on this 17th day of June 2025, by and between:

1. The Kojonga Market Management Committee, a community-based body representing the interests of market traders and stakeholders in Kojonga Market, hereinafter referred to as "the Committee";

2. The County Government of Narok, established under the Constitution of Kenya, 2010, hereinafter referred to as "the County Government";

Collectively referred to as "the Parties."

1. PURPOSE

1.1 The purpose of this MOU is to establish a collaborative framework for the management, development, and improvement of Kojonga Market to enhance trade, public service delivery, and socio-economic development.

2. OBJECTIVES

The objectives of this MOU are to:

2.1 Promote a clean, safe, and organized market environment.

2.2 Strengthen cooperation between the Committee and the County Government in revenue collection, security, sanitation, and infrastructure.

2.3 Facilitate inclusive participation of market stakeholders in decision-making.

2.4 Support empowerment and capacity-building of traders.

3. ROLES AND RESPONSIBILITIES

A. County Government of Narok Shall:

- a) Provide infrastructure development and maintenance (e.g., stalls, drainage, roads, lighting, toilets).
- b) Facilitate garbage collection and sanitation services.
- c) Ensure market security through county enforcement officers.
- d) Collect and manage market fees as per legal provisions.
- e) Include market representatives in planning and development initiatives.

B. Kojonga Market Committee Shall:

- a) Represent traders' views and ensure communication with the County Government.
- b) Support orderliness and compliance among traders.
- c) Coordinate internal market issues such as space allocation, dispute resolution, and trader welfare.
- d) Promote hygiene and cleanliness among traders and within the market.

4. Governance and Dispute Resolution

4.1 A joint liaison committee shall be formed, comprising representatives from both parties, to monitor implementation and address disputes.

4.2 Any disagreements arising shall first be addressed through dialogue and mutual understanding. If unresolved, the matter shall be referred to the County Commissioner or relevant legal channels.

5. Duration and Review

5.1 This MOU shall remain in force for a period of three (3) years from the date of signing and may be renewed upon mutual agreement.

5.2 A review shall be undertaken annually or as agreed to ensure the MOU remains relevant and effective.

6. Termination

6.1 Either party may terminate this MOU by giving thirty (30) days' written notice with reasons.

6.2 Termination shall not affect activities or obligations in progress unless otherwise agreed.

7. Legal Compliance

7.1 The Parties agree to abide by all applicable national and county laws and regulations in executing this MOU.

IN WITNESS WHEREOF,

the Parties have executed this Memorandum of Understanding on the day and year first written above.

For and on behalf of: THE COUNTY GOVERNMENT OF NAROK Sign <u>[Signature]</u> Date <u>17/06/2022</u>	For and on behalf of: KOJONGA MARKET MANAGEMENT COMMITTEE Sign <u>[Signature]</u> Date <u>17, 06, 2022</u>
NAME OF AUTHORISED OFFICER (Chief Officer, Trade, Industry & Cooperatives); <u>FRANCIS KURONAI</u> (County Government stamp) 	NAME OF CHAIRPERSON: <u>SATOTI KURONAI</u> (Market Management Committee stamp)

Appendix XII: Drawings Approvals



NAROK COUNTY GOVERNMENT DEPARTMENT OF LANDS, HOUSING, PHYSICAL PLANNING & URBAN DEVELOPMENT

County Headquarters
Mau-Narok Road, Narok Town
P.O. Box 898 - 20500
Narok, Kenya.

Tel: 020-268 8929 /03
E-mail: lands@narok.go.ke
Website: www.narok.go.ke

When Replying Quote:

FORM PLUPA/DC/8 (r.8(3)(i))

PHYSICAL AND LAND USE PLANNING ACT (NO.13 OF 2019)

Registered Number of Application No. 33/03/06/2025

NOTIFICATION OF APPROVAL OF APPLICATION

To: Chief Officer,
Department of Public Works,
Narok County Government
P.O. Box 898-20500,
NAROK

Your application numbered as above, submitted on... **03/06/2025**... for permission to... **develop Fresh Produce Market** for Land Registration No **CisMara/Kojonga/607** situated in **Narok East Sub County (Kojonga)** off **Kaplong -Narok - Maai Mahiu Road** was **approved by the County Planning Technical Committee Meeting** held on **10th June, 2025** vide Minute No **CPTC. 04/10/06/2025** subject to the following conditions:

- a) Plot not constituting part of any disputed public/private plot;
- b) Strict compliance with the development conditions stipulated in the NEMA license;
- c) An approved sign board to be erected on the construction site before commencement of the construction works;
- d) Availing Instructions/Site Inspection Book on site to be signed by all officers inspecting the construction;
- e) The cantilever/verandah should be within the plot boundaries;
- f) Observe the requisite setbacks and building line;
- g) To be undertaken under certificate of workmanship. The owner/Developer to retain both the Registered Project Architect and Licensed Project Engineer throughout the entire period of building construction. However incase of any changes the office of CECM Lands & Physical Planning to be notified immediately for approval;

- h) ROUTINE INSPECTION AND APPROVAL OF EACH STRUCTURAL STAGE BY COUNTY GOVERNMENT;
- i) NOISE and AIR pollution levels must conform to the NEMA regulations during the construction and operation phases of the project.
- j) To indemnify the County Government of Narok of any responsibility in the works by filling in the indemnity form;
- k) Construction must commence within 36 months after date of approval and be completed within 5 years otherwise plans to be re-submitted for approval;
- l) Provisions of adequate and functional onsite parking to the satisfaction of the county government of Narok;
- m) Appointment of a contractor registered with the NCA (of the value of the works);
- n) Construction workers to have requisite protective clothing;
- o) THE DEVELOPER OBTAINING THE REQUIRED COMPLETION/OCCUPATION CERTIFICATE;
- p) Any amendments or alterations to the approved plans must be approved by the County Government before any further works are carried out;
- q) Transportation of construction materials to the construction site should not cause any inconveniences to the general public/road users;
- r) Satisfactory surface water drainage to be done on site;
- s) To abide by all other lawful requirements of the application.

Date: 11/06/2025

Signed: _____

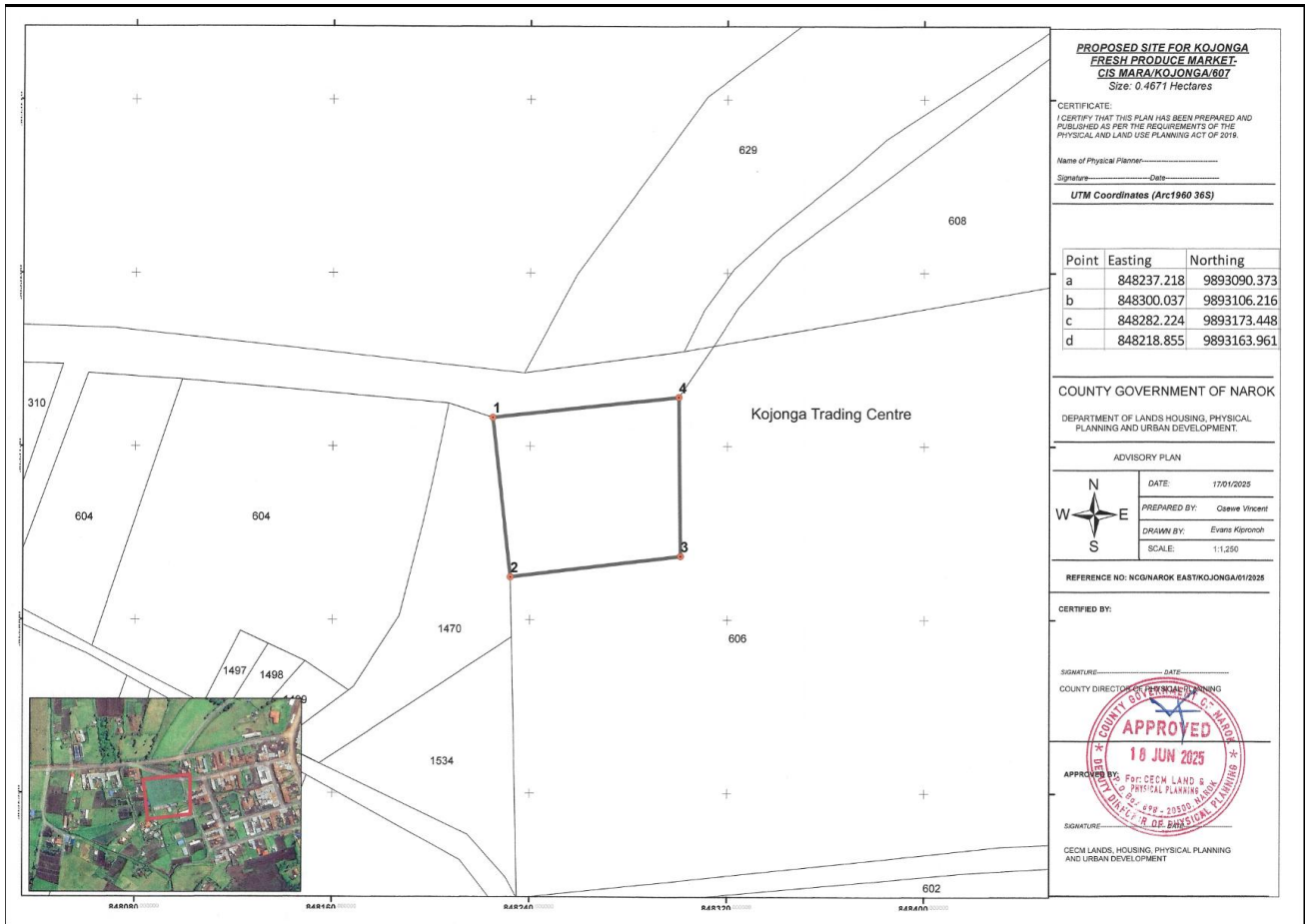
DEPUTY DIRECTOR OF PHYSICAL PLANNING
COUNTY GOVERNMENT OF NAROK



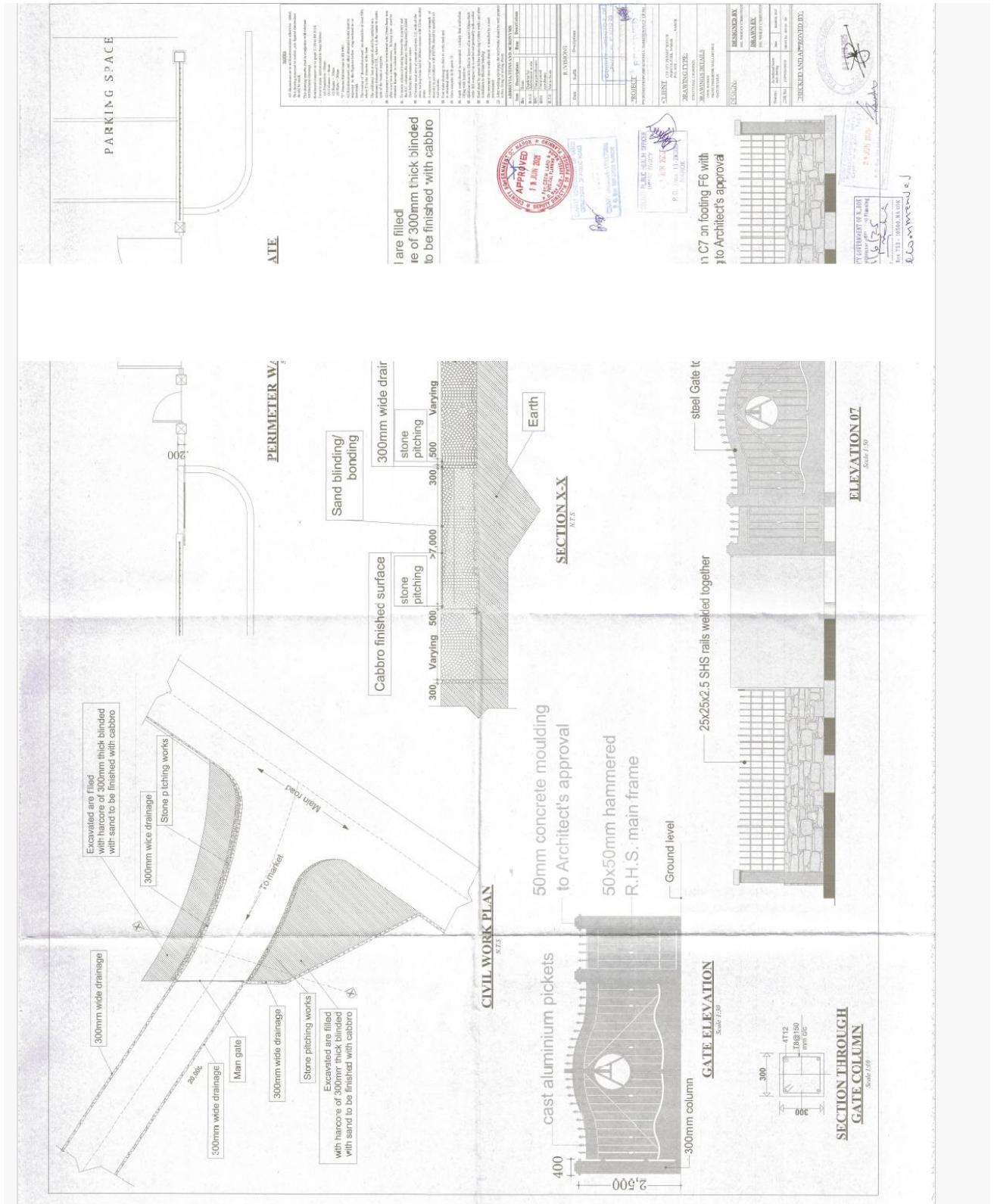
Copy to:

1. CECM, Lands, Housing, Physical Planning & Urban Development - NAROK
2. Chief Officer, Physical Planning & Urban Development - NAROK
3. Municipal Manager - NAROK MUNICIPALITY
4. Assistant Director, Physical Planning - NAROK
5. Director, NEMA - NAROK COUNTY
6. Director, Public Health - NAROK COUNTY
7. National Construction Authority - NAROK COUNTY

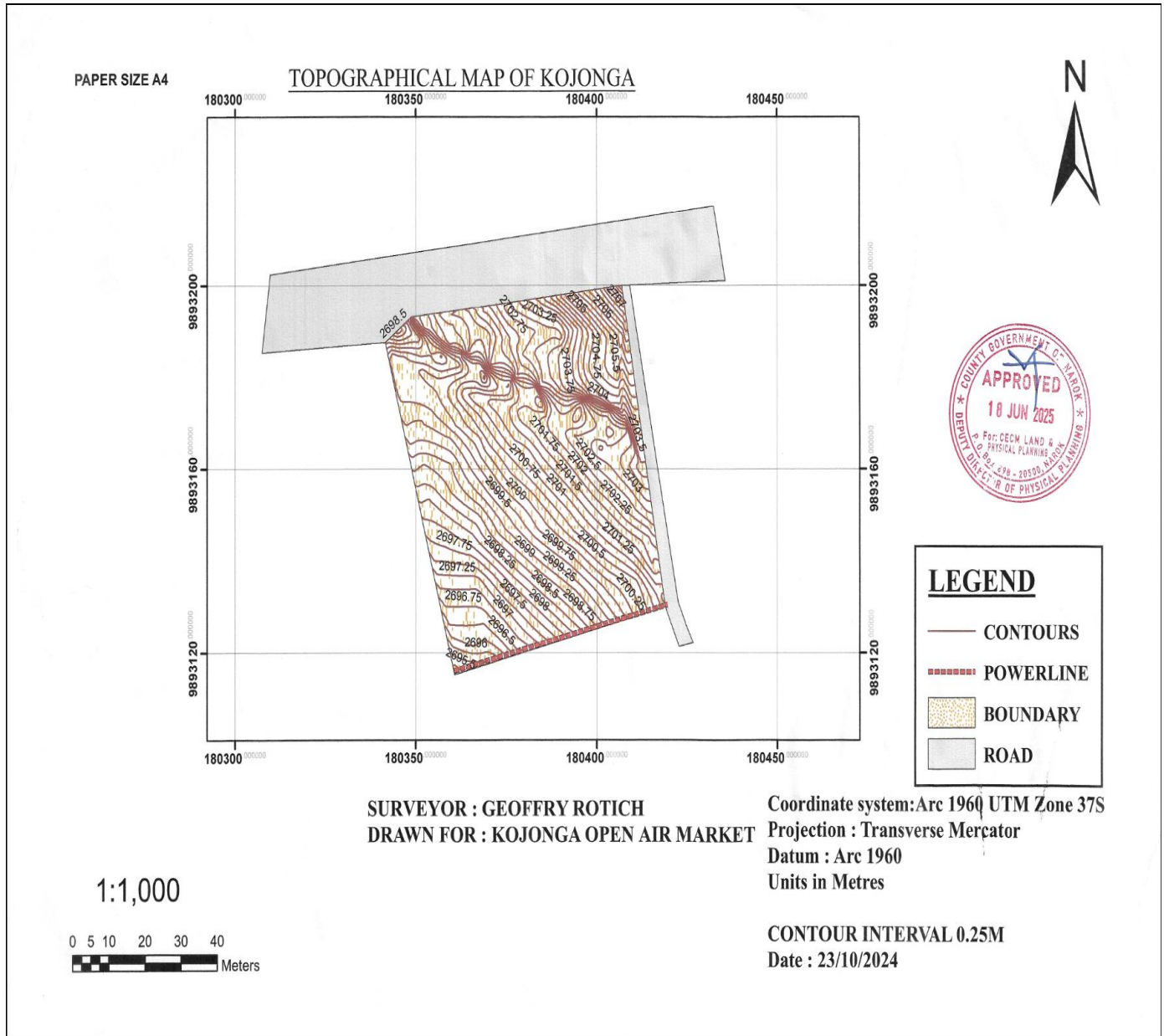
Appendix XII: Kojonga Plan Map



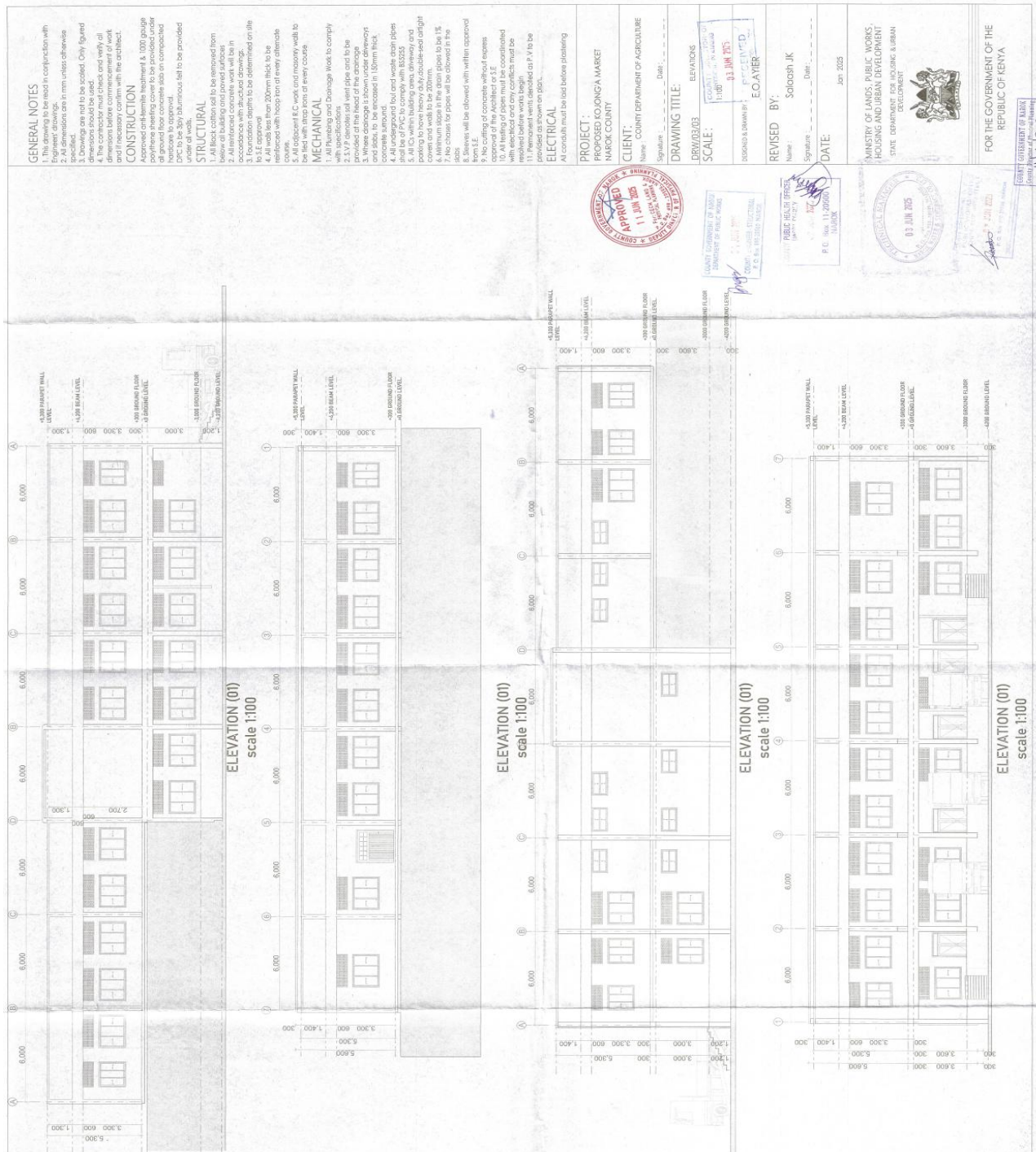
Annex XIV: Sectional Drawing



Appendix XV: Topographical Map of Kojonga



Appendix XVI: Elevations of the Proposed Market Structure



GENERAL NOTES

- This drawing to be read in conjunction with the specification.
- All elevations are in mm unless otherwise specified.
- Drawings are to be scaled. Only figured dimensions are to be used.
- The contractor must check and verify all dimensions before commencement of work in the field.

CONSTRUCTION

Approved cast-in-place concrete shall be provided under all ground floor concrete slabs on compacted DPC to be 30% bituminous seal to be provided under slabs.

STRUCTURAL

- All black cotton steel to be removed from drawings and replaced with appropriate steel sections with structural drawings.
- All reinforced concrete work will be in accordance with approved drawings.
- Structural members to be determined on the basis of approved drawings.
- All walls less than 200mm thick to be reinforced with hoops for all every alternate course.
- All support & C work and masonry walls to be tied with iron rods at every course.

MECHANICAL

All Plumbing and Drainage work to comply with approved drawings.

- SVP (down) all vent pipes and to be provided at the level of the drainage system.
- Drainage pipes and stacks to be encased in 150mm thick concrete surround.
- All floor drains and floor traps to be provided with 150mm diameter cover.
- All G.I. within building area, driveway and parking to have heavy duty double-headed corrugated galvanneal steel.
- Minimum slope in the drain pipes to be 1%.
- No chase for pipes will be allowed in the walls.
- Slaves will be allowed with approval from S.E.
- No cutting of concrete without express approval.
- All testing of pipes must be coordinated with electrical and any conflicts must be resolved.
11. Permeant wall detailed as P.V to be provided as shown on plan.

ELECTRICAL

All conduits must be laid below plastering.

PROJECT: PROPOSED KOONGA MARKET
MAROKO COUNTY

CLIENT: COUNTY DEPARTMENT OF AGRICULTURE
Signature: _____ Date: _____

DRAWING TITLE: ELEVATIONS
DRAWN BY: DRW/03/03
SCALE: 1:100
DATE: 03 JUN 2025

DESIGNED & DRAWN BY: E.O. AYER
Signature: _____ Date: _____

REVISED BY: Solooosh JK
Signature: _____ Date: _____

DATE: Jan. 2025

MINISTRY OF LANDS, PUBLIC WORKS, HOUSING AND URBAN DEVELOPMENT
STATE DEPARTMENT FOR HOUSING & URBAN DEVELOPMENT

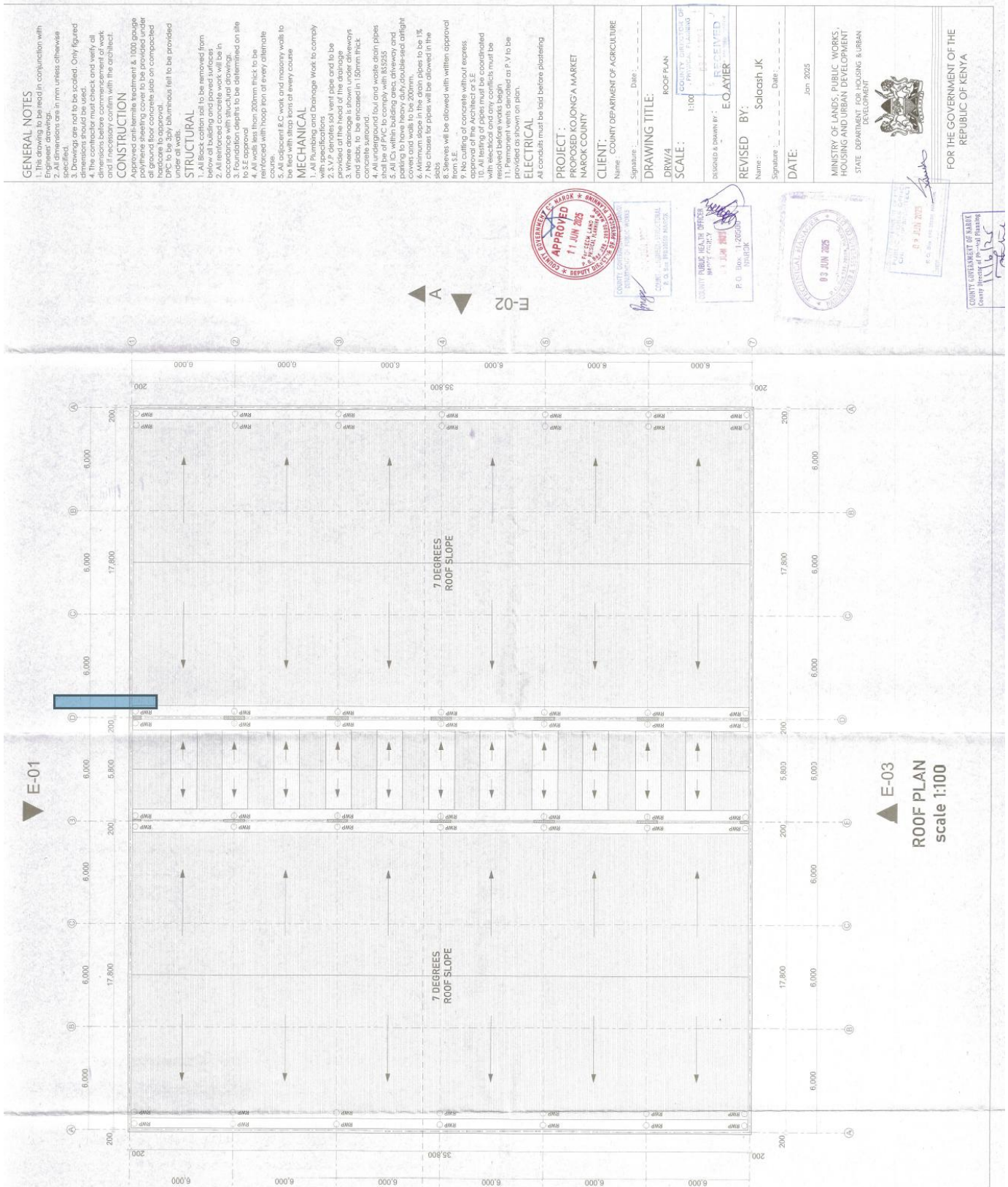
FOR THE GOVERNMENT OF THE REPUBLIC OF KENYA

Signature: _____
Name: _____
P.O. Box 255-10500, NAIROBI



Signature: _____
Name: _____
P.O. Box 255-10500, NAIROBI

Appendix XVII: Roof plan

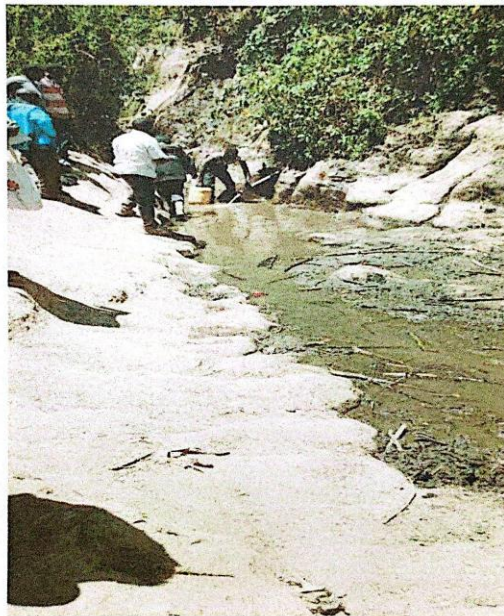


Appendix XVIII: Kojonga Spring Hydrological Report

KOJONGA WATER SUPPLY PROJECT

Hydrological Assessment Report

Hydrological assessment report for ungauged Kojonga spring trib. Of Siyiapei river for water abstraction for Kojonga Water Supply – Mosiro Ward, Narok East Sub County. The intake Coordinates: Latitude -0.9725025;180291.78 Longitude 36.1276631; 9892373.049 Elevation 2580.54m



February, 2025

Name and Address of Proponent:	Details of Hydrologist: Signature:  Name: Eng. Michael Otieno Address: P.O. Box 75306 - 00200 Email: Reg. No.: WD/WRP 255 Telephone Contacts: 0722766731 Assisted by: Jonathan Mwanja, Hydrologist Email: Telephone Contacts:
---------------------------------------	---

Hydrological Assessment Report for Kojonga spring

-END-